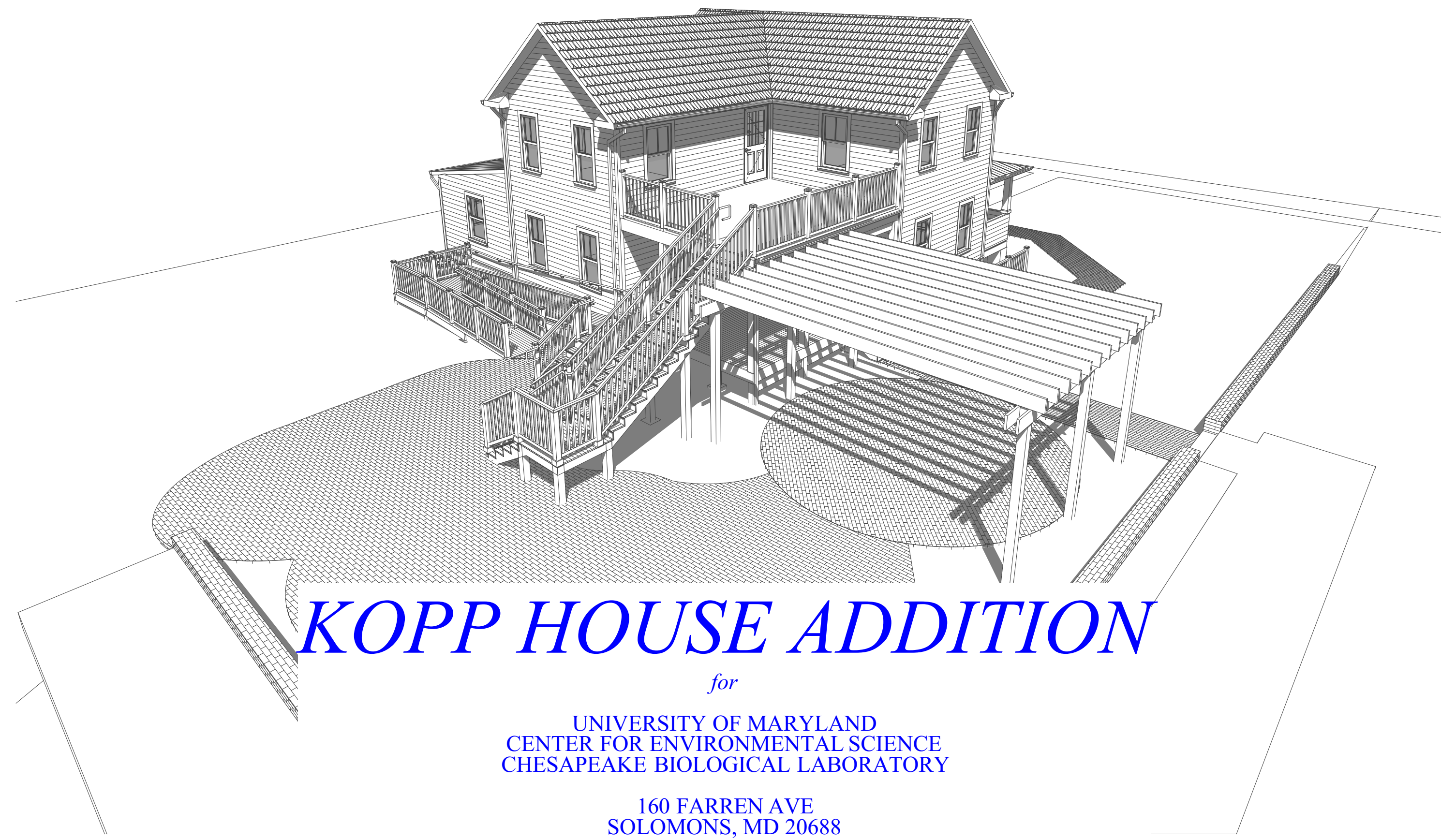


# GENERAL NOTES

- DO NOT scale the drawings.
- All dimensions are to face of concrete, face of masonry, face of stud or rough framing, or center-lines unless otherwise noted.
- Carefully lay out all new work prior to the start of any building procedure including demolition. Contact the Architect upon the discovery of any discrepancy.
- The Contractor shall immediately notify the Architect of any discrepancies, omissions, ambiguities, or conflicts in or among the contract drawings or if he has any doubt as to their meaning.
- All cutting and patching shall be performed in a workman-like manner. Any existing finishes or construction to remain shall be protected from damage by the Contractor.
- All materials and systems shall be installed as per the manufacturer's recommendations and all construction shall be of first-class workmanship.
- Provide 3/4" exterior grade plywood behind all electrical and telephone equipment as required.
- Provide all blocking grounds and other required sub-surface attachments for all equipment, accessories, trim fixtures and manufactured items specified.
- Isolate dissimilar metals in contact with each other.
- Caulk between masonry and metal, metal and metal, wood and masonry, and as required by the drawings.
- All interior insulation shall be non-combustible.
- Gypsum Board back-up for ceramic tile shall be waterproof and moisture resistant.
- Closet finishes to be the same as the room they are adjoining unless otherwise noted.
- Carefully remove all debris generated during construction, making every effort to control dust and noise. Comply to all locally governing codes.
- Maintain safe, clean, and accessible site conditions at all times.
- Maintain adequate fire protection throughout the course of construction.

# PROJECT TITLE



# BUILDING DATA

CODE SUMMARY KOPP HOUSE RENOVATION CHESAPEAKE BIOLOGICAL LABORATORY			
<b>PROJECT ADDRESS</b> CHESAPEAKE BIOLOGICAL LABORATORY KOPP HOUSE 150 FARREN AVENUE SOLOMONS, MD 20688	<b>OWNER INFORMATION</b> STATE OF MARYLAND UNIVERSITY OF MARYLAND CHESAPEAKE BIOLOGICAL		
<b>PROPOSED USE</b> OFFICE BUILDING	<b>TENANT INFORMATION</b>		
<b>CODE ENFORCEMENT JURISDICTION</b> CALVERT COUNTY DEPARTMENT OF PLANNING & ZONING DIVISION OF INSPECTIONS AND PERMITS	<b>ARCHITECT</b> PATUXENT ARCHITECTS 739 MONNETT COURT PO BOX 421 PRINCE FREDERICK, MD 20678 410-257-9298 BRENT HUTCHINSON, AIA <a href="mailto:brenth@patuxentarchitects.com">brenth@patuxentarchitects.com</a>		
<b>PROJECT SUMMARY</b> EXISTING BUILDING DESCRIPTION: 2-STORY WOOD-FRAME BUILDING ON PARTIAL UNFINISHED BASEMENT. REMODEL EXISTING BUILDING.			
<b>USE AND OCCUPANCY</b> EXISTING OCCUPANCY CLASSIFICATION: BUSINESS PROPOSED OCCUPANCY CLASSIFICATION: BUSINESS NO CHANGE IN OCCUPANCY CLASSIFICATION			
<b>CLASSIFICATION OF WORK</b> DESCRIPTION: WORK AREA = 50% OF BUILDING AREA. RECONFIGURATION OF SPACE. ADD/REMOVE WINDOWS AND DOORS. MODIFY EXIT AND EXIT ACCESS. IECC CLASSIFICATION OF WORK: ALTERATIONS, LEVEL 3. ADDITION. NFPA 101 REHABILITATION CLASSIFICATION: RECONSTRUCTION. NFPA 101 APPLICABLE OCCUPANCY CHAPTER: CHAPTER 39 - EXISTING BUSINESS OCCUPANCY CHAPTER 38 - NEW BUSINESS OCCUPANCY FOR MEANS OF EGRESS.			
<b>APPLICABLE CODES</b>			
INTERNATIONAL BUILDING CODE	IBC	2018	
INTERNATIONAL EXISTING BUILDING CODE	IEBC	2018	
INTERNATIONAL ENERGY CONSERVATION CODE	IECC	2018	
FIRE CODE	NFPA 1	2021	
LIFE SAFETY CODE	NFPA 101	2021	
STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS	NFPA 13	2013	
NATIONAL FIRE ALARM AND SIGNALING CODE	NFPA 72	2013	
MARYLAND ACCESSIBILITY CODE	COMAR 05.02.02	2015	
AMERICANS WITH DISABILITIES GUIDELINES	ADAG	2010	
NATIONAL ELECTRIC CODE	NEC	2014	
NATIONAL STANDARD PLUMBING CODE	NSPC	2009	
<b>OCCUPANCY CLASSIFICATION</b>			
SINGLE-TENANT BUILDING	USE	IBC	NFPA 101
FIRST FLOOR	BUSINESS OFFICE USE	B	B CHAPTER 38
SECOND FLOOR	BUSINESS OFFICE USE	B	B CHAPTER 38
<b>BUILDING HEIGHT AND AREA</b>			
IBC CHAPTER 5	SPRINKLER	ALLOWED	ACTUAL
EXISTING	NS	40	24'-8"
PROPOSED	NS	40	24'-8"
<b>CONSTRUCTION TYPE</b>			
FIRST FLOOR	PERIMETER BEARING WALLS	DIMENSIONAL WOOD FLOOR JOISTS AND SUBFLOOR	WOOD EXTERIOR BEARING WALLS (BALLOON-FRAMED)
SECOND FLOOR	ROOF STRUCTURE	DIMENSIONAL WOOD FLOOR JOISTS AND SUBFLOOR	DIMENSIONAL WOOD CEILING AND ROOF RAFTERS
CODE	TYPE	DESCRIPTION	
IBC	TABLE 601	VB	COMBUSTIBLE/ UNPROTECTED
NFPA 101		V (000)	COMBUSTIBLE/ UNPROTECTED

# DRAWING SHEET INDEX

G001	COVER
LS101	FIRST FLOOR LIFE SAFETY PLAN
LS102	LIFE SAFETY PLANS - CODE REVIEW
D101	DEMOLITION PLANS
D102	DEMOLITION ELEVATIONS
A001	DOOR & WINDOW SCHEDULES
A101	BASEMENT PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A201	EAST & WEST ELEVATIONS
A202	NORTH & SOUTH ELEVATIONS
A301	SECTIONS
A302	SECTIONS
S101	FIRST FLOOR FRAMING PLAN
S102	SECOND FLOOR FRAMING PLAN
E101	ELECTRIC PLANS

# ABBREVIATIONS

A/C	AIR CONDITIONING	BSMT	BASEMENT	DP	DAMPPOOFING	FTG	FOOTING	LAM	LAMINANT	OH	OVERHEAD	SPCS	SPECIFICATIONS
AC	ACOUSTICAL	BUR	BUILT UP ROOF	DTL	DETAIL	FURR	FURRING	LAV	LAVATORY	OPG	OPENING	SS	STAINLESS STEEL
ADJ	ADJACENT	BV	BRICK VENT	DWG	DRAWING			LT	LIGHT			STL	STEEL
AFF	ABOVE FINISH FLOOR					GA	GAUGE	LVR	LOUVER	PL	PLASTIC	STO	STORAGE
AI	AIR INTAKE	CAB	CABINET	E	EAST	GALV	GALVANIZED	MACH	MACHINE	PLAS	PLASTER	STRUC	STRUCTURAL
ALT	ALTERNATE	CER	CERAMIC	EA	EACH	GL	GLASS	MAX	MAXIMUM	PNL	PANEL	SUSP	SUSPENDED
ALUM	ALUMINUM	CJT	CONTROL JOINT	ELEC	ELECTRIC	GR	GRADE	MECH	MECHANICAL	PNT	PAIN	STRUCR	STRUCTURAL
AP	ACCESS PANEL	CL	CLOSET	ELEV	ELEVATION	GYP BD	GYP SUM WALLBOARD	MIN	MINIMUM	PPT	PRESERVATIVE	SWP	WOOD PANEL
ARCH	ARCHITECTURAL	CLG	CEILING	EOC	EVERY OTHER COURSE			MISC	MISCELLANEOUS	PTD	PRESSED TREATED	T	TREAD
ASPH	ASPHALT	CMU	CONCRETE MASONRY UNIT	EWC	ELECTRIC WATERCOOLER	HC	HOLLOW CORE	MW	MASONRY OPENING	RD	ROOF DRAIN	TB	TACKBOARD
ATTEN	ATTENUATION	CO	CLEAN OUT	EXH	EXHAUST	HGT	HEIGHT	MSNR	MASONRY	REIN	REINFORCING/ MENT/ ED	TEL	TELEPHONE
BB	BLACKBOARD	COL	COLUMN	EXP JT	EXPANSION JOINT	HM	HOLLOW METAL	MW	MEMBRANE	REIN	REINFORCING/ MENT/ ED	TL	TILE
BC	BRICK COURSE	CONC	CONCRETE	EQ	EQUAL	HVAC	HEATING/ VENTILATION/ AIR CONDITIONING			RM	ROOM	TOP	TOP OF
BD	BOARD	CONST	CONSTRUCTION	EQ	EQUAL					RND	ROUND	TYP	TYPICAL
BET	BETWEEN	CONT	CONTINUOUS	EXSTO	EXISTING	ID	INSIDE DIAMETER	N	NORTH	REIN	REINFORCING/ MENT/ ED		
BEY	BEYOND	CONV	CONVECTOR	EXT	EXTERIOR	INS	INSULATION	NIC	NOT IN CONTRACT	RET	RETURN	VCT	VINYL COMPOSITION
BIT	BITUMINOUS	CPT	CARPET			INT	INTERIOR			RM	ROOM	W	WEST
BLDG	BUILDING			FC	FIRE CODE	INT	INTERIOR	NO	NUMBER	RND	ROUND	WC	WATER CLOSET
BLK	BLOCK	DEM	DEMOLISH	FD	FLOOR DRAIN	FEC	FIRE EXTINGUISHER	NOM	NOMINAL	RO	ROUGH OPENING	WD	WOOD
BLKG	BLOCKING	DIA	DIAMETER	FEC	FIRE EXTINGUISHER	IB	JUNCTION BOX	NTS	NOT TO SCALE			WP	WATERPROOFING
BM	BEAM	DIM	DIMENSION	JT	JOINT	INT	INTERIOR	OC	ON CENTER	S	SOUTH		
		DN	DOWN			FL	FLOOR	OD	OUTSIDE DIAMETER	SHT	SHEET		
								SP	SPACE	SL	SLAB		
										SP	SPACE		

# SYMBOLS

<b>LINETYPES</b>	<b>SECTION REFERENCE</b>	<b>DETAIL REFERENCE</b>	<b>REFERENCE MARKERS</b>	<b>ID MARKERS</b>	<b>MATERIALS SYMBOLS</b>
<ul style="list-style-type: none"> <li>Center lines, projections, ext. elevation lines</li> <li>Property lines, boundary lines</li> <li>Hidden, future or existing construction to be removed</li> <li>Break line</li> <li>New walls</li> <li>Existing walls</li> <li>Walls to be removed</li> </ul>	<ul style="list-style-type: none"> <li>DWG ID</li> <li>SHT ID</li> <li>Drawing number</li> <li>View direction</li> <li>Sheet location</li> <li>Extent</li> </ul>	<ul style="list-style-type: none"> <li>A-1</li> <li>A301</li> <li>Detail reference drawing symbol</li> </ul>	<ul style="list-style-type: none"> <li>A-1</li> <li>A301</li> <li>Building section reference drawing symbol</li> <li>Elevation or interior elevation reference drawing symbol</li> <li>Detail reference drawing symbol</li> </ul>	<ul style="list-style-type: none"> <li>1</li> <li>01</li> <li>A</li> <li>1</li> <li>Wall type</li> <li>Door ID</li> <li>Window ID</li> <li>Revision number</li> </ul>	<ul style="list-style-type: none"> <li>Gravel</li> <li>Earth</li> <li>Structural concrete</li> <li>Concrete masonry</li> <li>Common brick</li> <li>Steel</li> <li>Rough carpentry</li> <li>Wood blocking</li> <li>Plywood</li> <li>Fiberglass batt insulation</li> <li>Rigid foam insulation</li> <li>EIFS</li> </ul>

## KOPP HOUSE ADDITION

160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title: **COVER**

**ARCHITECT'S CERTIFICATION STATEMENT**  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 17382 EXPIRATION DATE: AUGUST 21, 2024.

	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	G001
	Reviewed	BRH	Date	2024-03-25



1 2 3 4 5 6 7 8 9 10 11 12 13 14

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A

**NFPA 101 LIFE SAFETY CODE - 2021 EDITION**

8.6.4 VERTICAL OPENINGS: UNENCLOSED VERTICAL OPENINGS ARE PERMITTED IF THE OPENING DOES NOT SERVE AS A REQUIRED MEANS OF EGRESS.

9.2.4.4 A SINGLE EXTERIOR EXIT STAIR IN ACCORDANCE WITH 7.2.2.2 IS PERMITTED TO SERVE AS THE SINGLE MEANS OF EGRESS FOR THE SECOND FLOOR.

9.2.4.1 EMERGENCY LIGHTING IS NOT REQUIRED.

9.3.4.1.1 FIRE ALARM SYSTEM NOT REQUIRED.

9.3.5 PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AS PER SECTION 9.4.

**NFPA 1 FIRE CODE - 2021 EDITION**

14.2 EXIT ACCESS CORRIDORS DO NOT REQUIRE 1-HOUR SEPARATION IN EXISTING BUILDINGS WHERE THE OCCUPANCY CLASSIFICATION DOES NOT CHANGE.

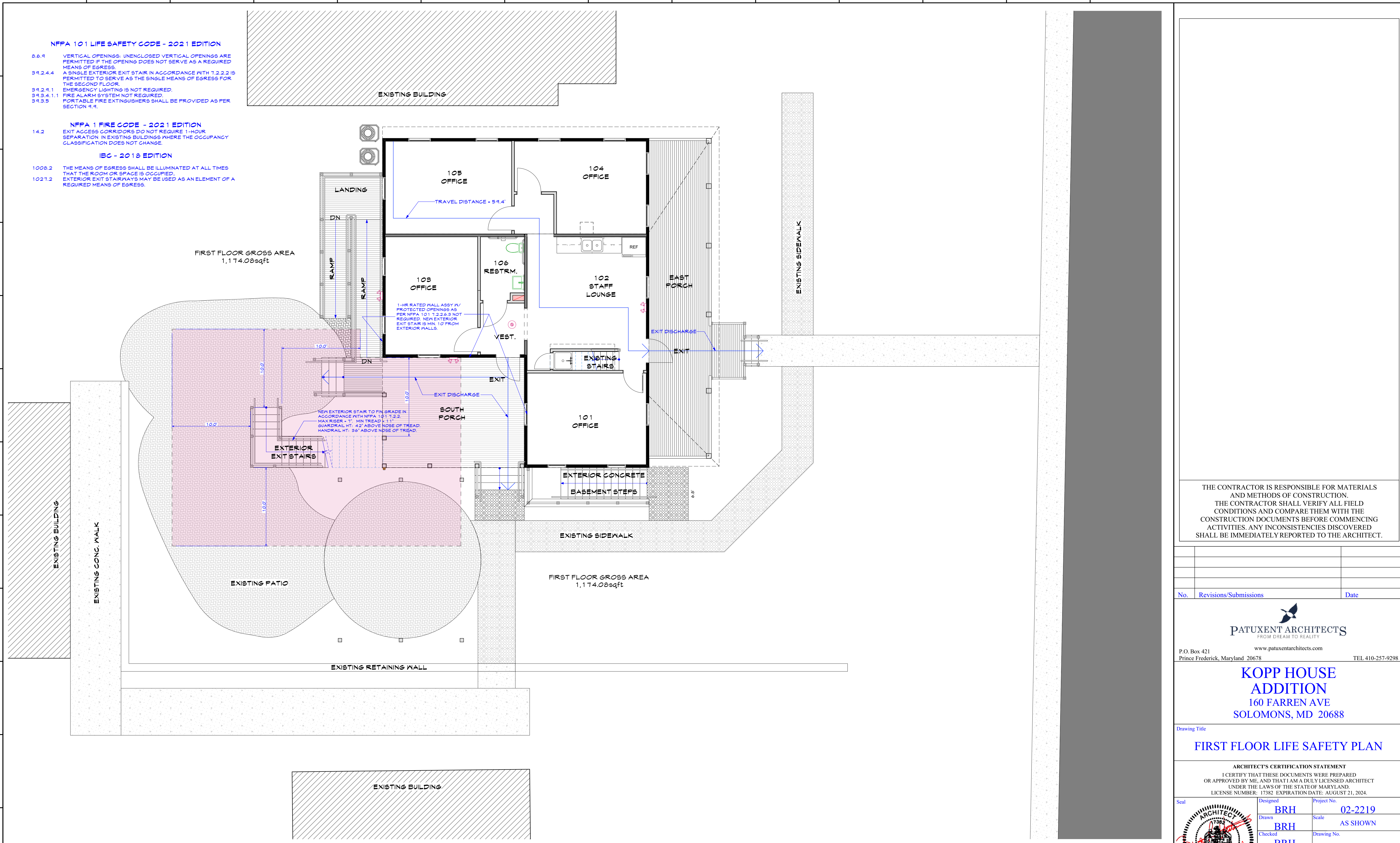
**IBC - 2018 EDITION**

1008.2 THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.

1021.2 EXTERIOR EXIT STAIRWAYS MAY BE USED AS AN ELEMENT OF A REQUIRED MEANS OF EGRESS.

FIRST FLOOR GROSS AREA  
1,174.08sqft

FIRST FLOOR GROSS AREA  
1,174.08sqft



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No.	Revisions/Submissions	Date

**PATUXENT ARCHITECTS**  
FROM DREAM TO REALITY  
www.patuxentarchitects.com  
P.O. Box 421 Prince Frederick, Maryland 20678 TEL 410-257-9298

**KOPP HOUSE ADDITION**  
160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title  
**FIRST FLOOR LIFE SAFETY PLAN**

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Seal	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	LS101
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25		2 of 16

**A1 FIRST FLOOR LIFE SAFETY PLAN**  
3/16" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14



### CODE SUMMARY KOPP HOUSE RENOVATION CHESAPEAKE BIOLOGICAL LABORATORY

<b>PROJECT ADDRESS</b> CHESAPEAKE BIOLOGICAL LABORATORY KOPP HOUSE 150 FARREN AVENUE SOLOMONS, MD 20688	<b>OWNER INFORMATION</b> STATE OF MARYLAND UNIVERSITY OF MARYLAND CHESAPEAKE BIOLOGICAL
<b>PROPOSED USE</b> OFFICE BUILDING	<b>TENANT INFORMATION</b>
<b>CODE ENFORCEMENT JURISDICTION</b> CALVERT COUNTY DEPARTMENT OF PLANNING & ZONING DIVISION OF INSPECTIONS AND PERMITS	<b>ARCHITECT</b> PATUXENT ARCHITECTS 79 MONNETT COURT PO BOX 421 PRINCE FREDERICK, MD 20678 410-257-9298 BRENT HUTCHINSON, AIA, <a href="mailto:brenth@patuxentarchitects.com">brenth@patuxentarchitects.com</a>
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APPLICABLE CODES			
INTERNATIONAL BUILDING CODE	IBC	2018	
INTERNATIONAL EXISTING BUILDING CODE	IEBC	2018	
INTERNATIONAL ENERGY CONSERVATION CODE	IECC	2018	
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NATIONAL ELECTRIC CODE	NEC	2014	
NATIONAL STANDARD PLUMBING CODE	NSPC	2009	

OCCUPANCY CLASSIFICATION			
SINGLE-TENANT BUILDING			
OCCUPANCY CLASSIFICATION	USE	IBC	NFPA 101
FIRST FLOOR	BUSINESS OFFICE USE	B	B CHAPTER 38
SECOND FLOOR	BUSINESS OFFICE USE	B	B CHAPTER 38

BUILDING HEIGHT AND AREA			
IBC CHAPTER 5	SPRINKLER	ALLOWED	ACTUAL
HEIGHT			
EXISTING	NS	40	24'-8"
PROPOSED			
NUMBER OF STORIES			
EXISTING	NS	2	2
PROPOSED			
GROSS BUILDING AREA			
BASEMENT			474
FIRST FLOOR	NS	9000 sf/floor	1,174
SECOND FLOOR			759
TOTAL			2,407.00

CONSTRUCTION TYPE			
FIRST FLOOR	DIMENSIONAL WOOD FLOOR JOISTS AND SUBFLOOR		
PERIMETER BEARING WALLS	WOOD EXTERIOR BEARING WALLS (BALLOON-FRAMED)		
SECOND FLOOR	DIMENSIONAL WOOD FLOOR JOISTS AND SUBFLOOR		
ROOF STRUCTURE	DIMENSIONAL WOOD CEILING AND ROOF RAFTERS		
CODE	TYPE	DESCRIPTION	
IBC	TABLE 601	VB	COMBUSTIBLE/ UNPROTECTED
NFPA 101		V (000)	COMBUSTIBLE/ UNPROTECTED

INTERIOR FINISHES			
	SPRINKLERED		
	EXIT ENCLOSURES AND EXIT PASSAGEWAYS	COORDINATORS	ROOMS AND ENCLOSED SPACES
IBC TABLE 803.9	B	B	C
NFPA 101 - CH. 10	A,B	A,B,C	A,B,C

EXTINGUISHMENT			
AUTOMATIC FIRE SUPPRESSION SYSTEM			
IBC	SECTION 903	REQUIRED	PROVIDED
NFPA 101	38.3.5	NO	NO

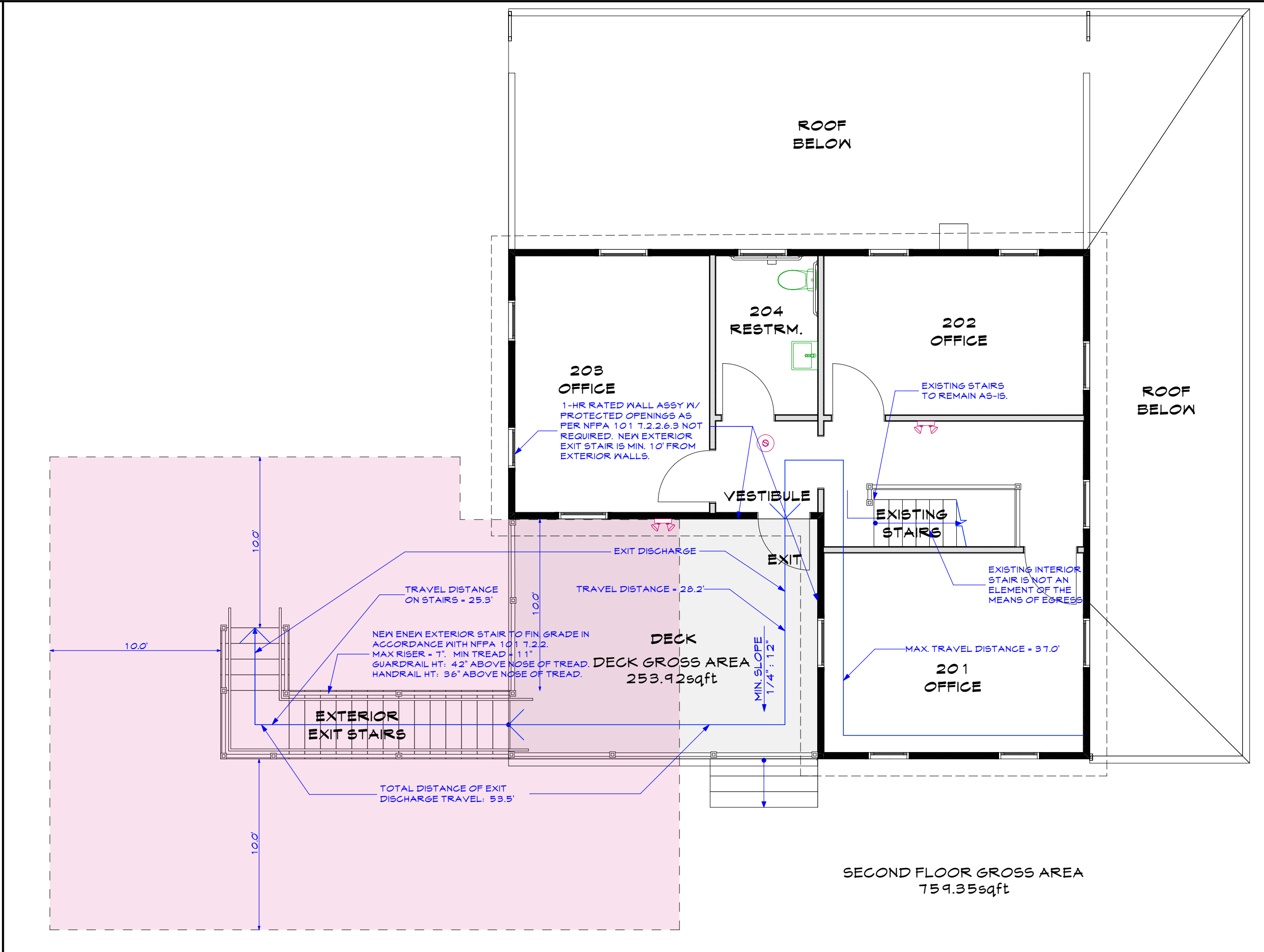
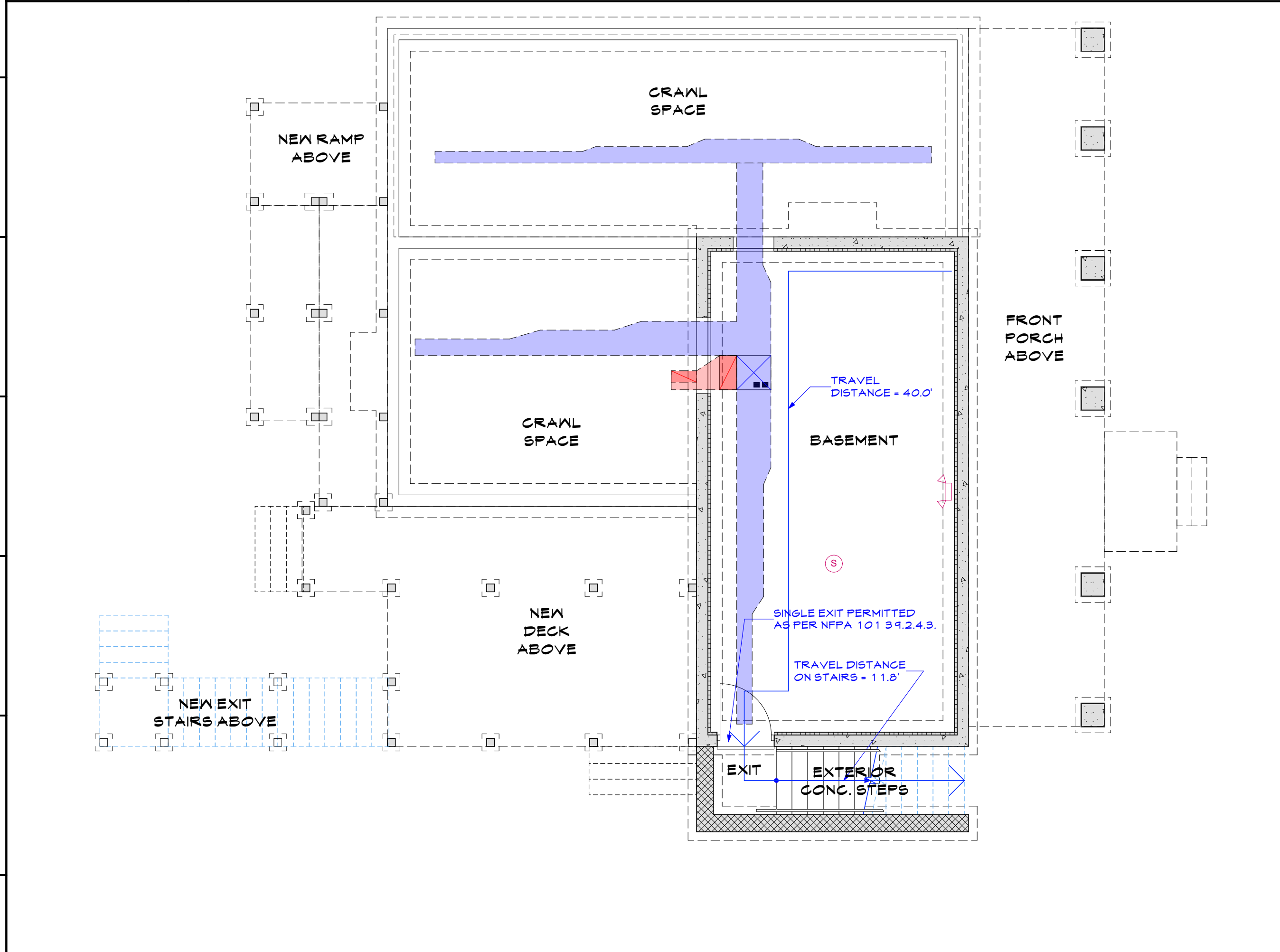
FIRE ALARM			
AUTOMATIC DETECTION AND NOTIFICATION SYSTEM			
IBC	907.2.2	REQUIRED	PROVIDED
NFPA 101	38.3.4.1	NO	NO

### NUMBER OF OCCUPANTS

	GROSS AREA	OCCUPANT FACTOR	TOTAL OCCUPANTS
BUSINESS OCCUPANCY			
FIRST FLOOR	1,174	150	7
SECOND FLOOR	759	150	5
BASEMENT - UTILITY	474	500	1
<b>PROPOSED TOTAL OCCUPANT LOAD</b>	<b>2,407</b>		<b>13</b>

## H1 KOPP HOUSE CODE SUMMARY

1:1.20



THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ANY INCONSISTENCIES DISCOVERED SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.

No.	Revisions/Submissions	Date

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FROM DREAM TO REALITY

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www.patuxentarchitects.com  
TEL 410-257-9298

### KOPP HOUSE ADDITION

160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title  
**LIFE SAFETY PLANS - CODE REVIEW**

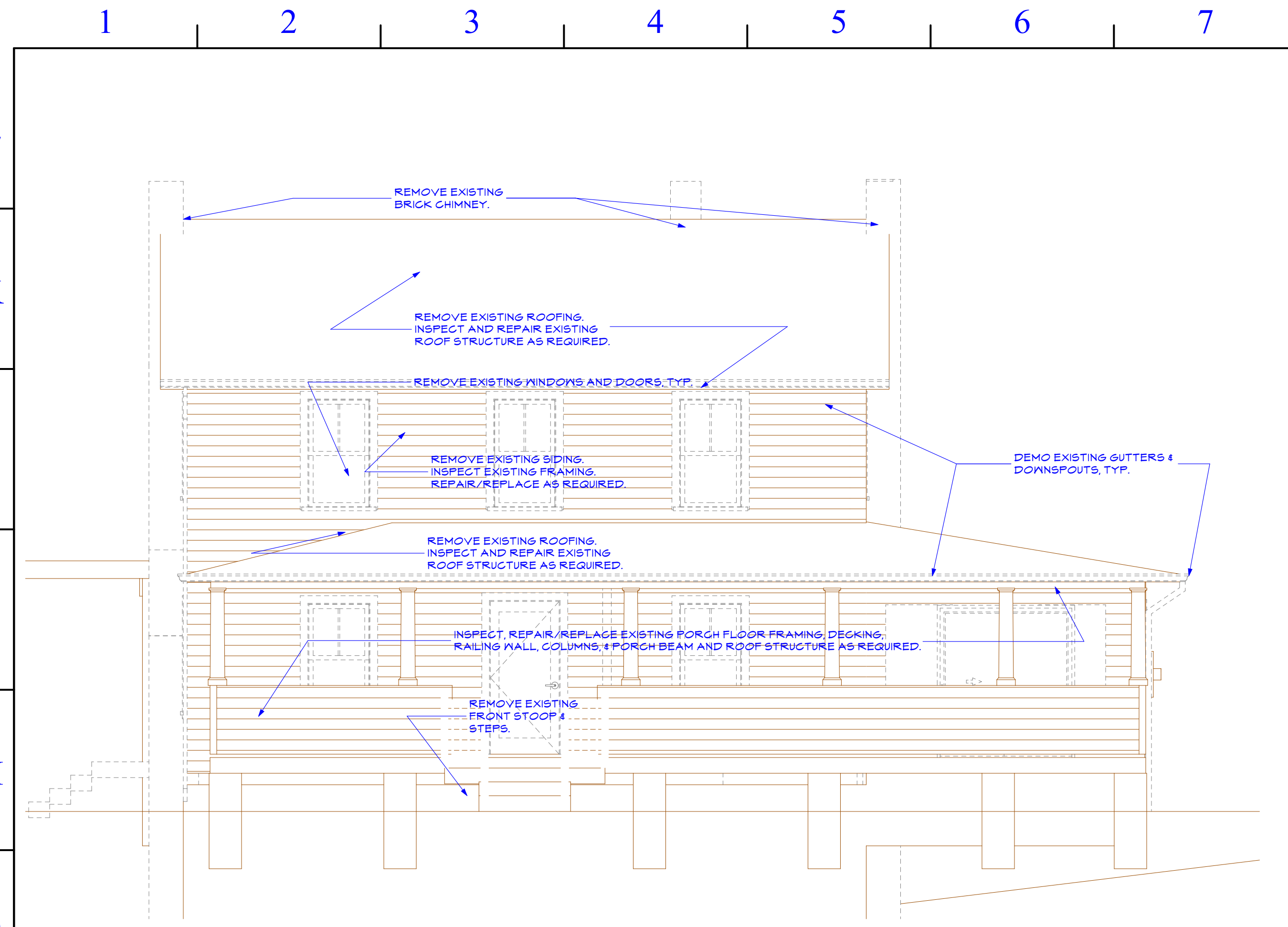
ARCHITECT'S CERTIFICATION STATEMENT  
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LICENSE NUMBER: 17382 EXPIRATION DATE: AUGUST 21, 2024.

Designed	BRH	Project No.	02-2219
Drawn	BRH	Scale	AS SHOWN
Checked	BRH	Drawing No.	LS102
Reviewed	BRH	Date	2024-03-25
Seal		3 of 16	



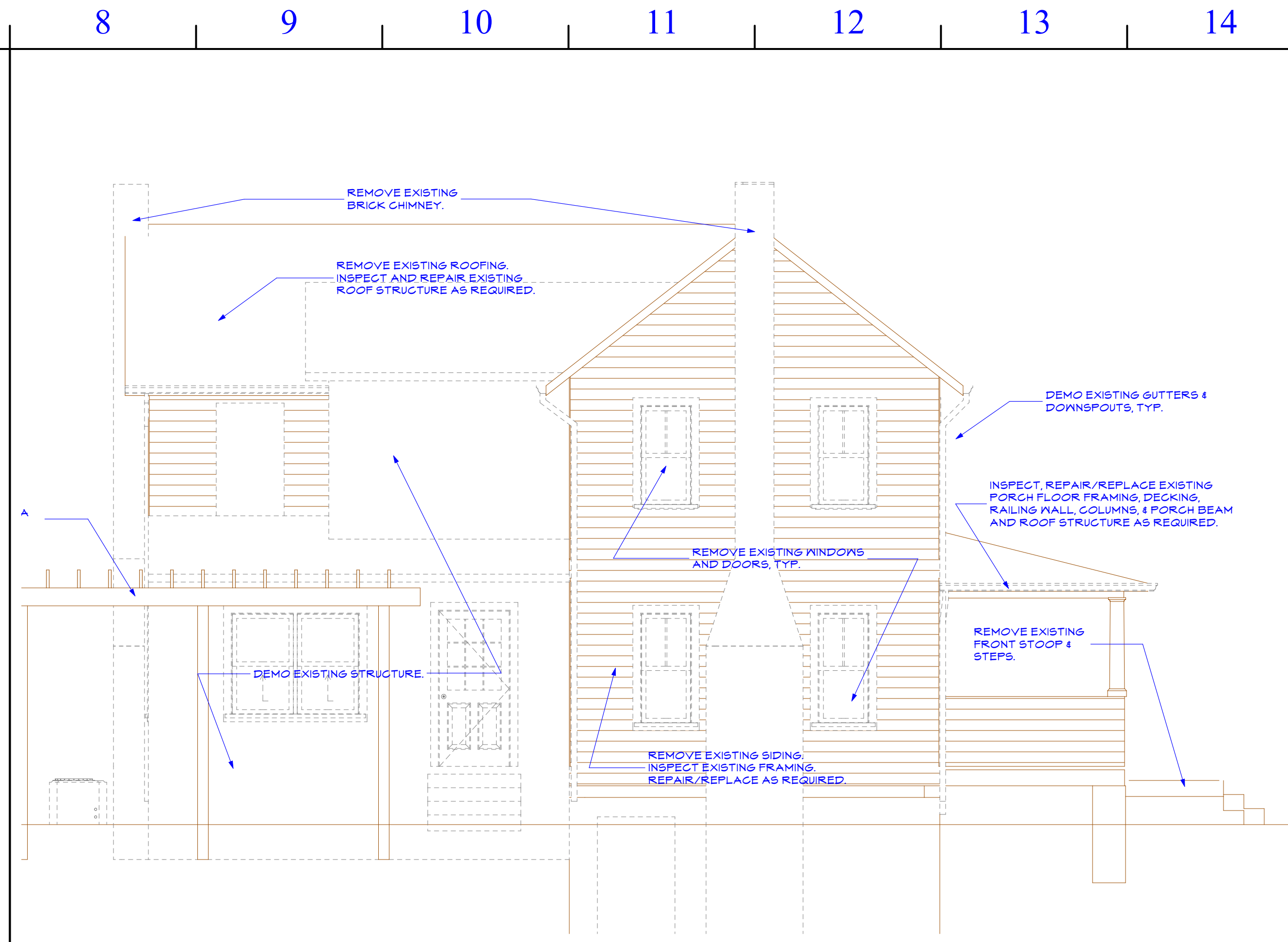






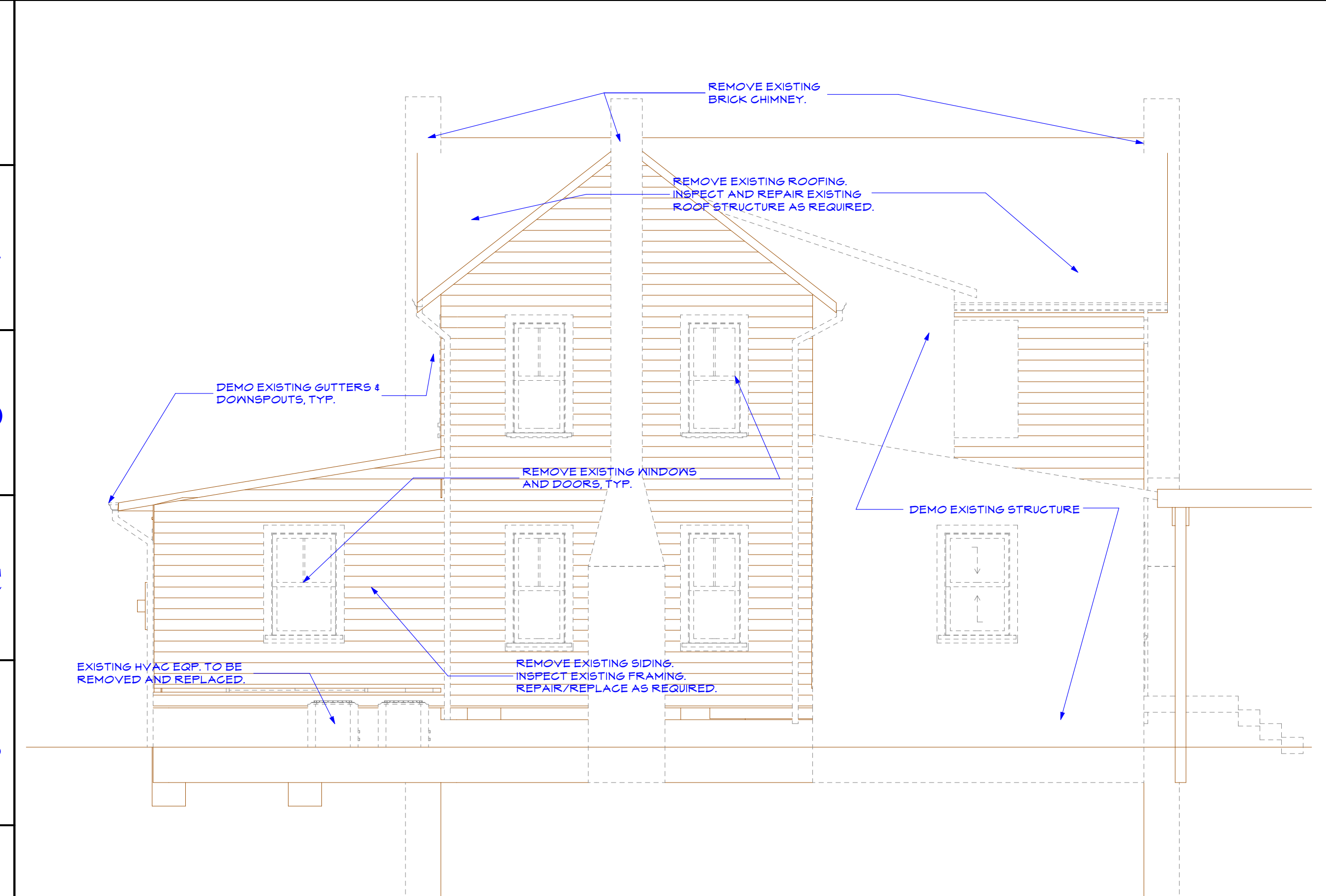
**G1 EAST DEMOLITION ELEVATION**

1/4" = 1'-0"



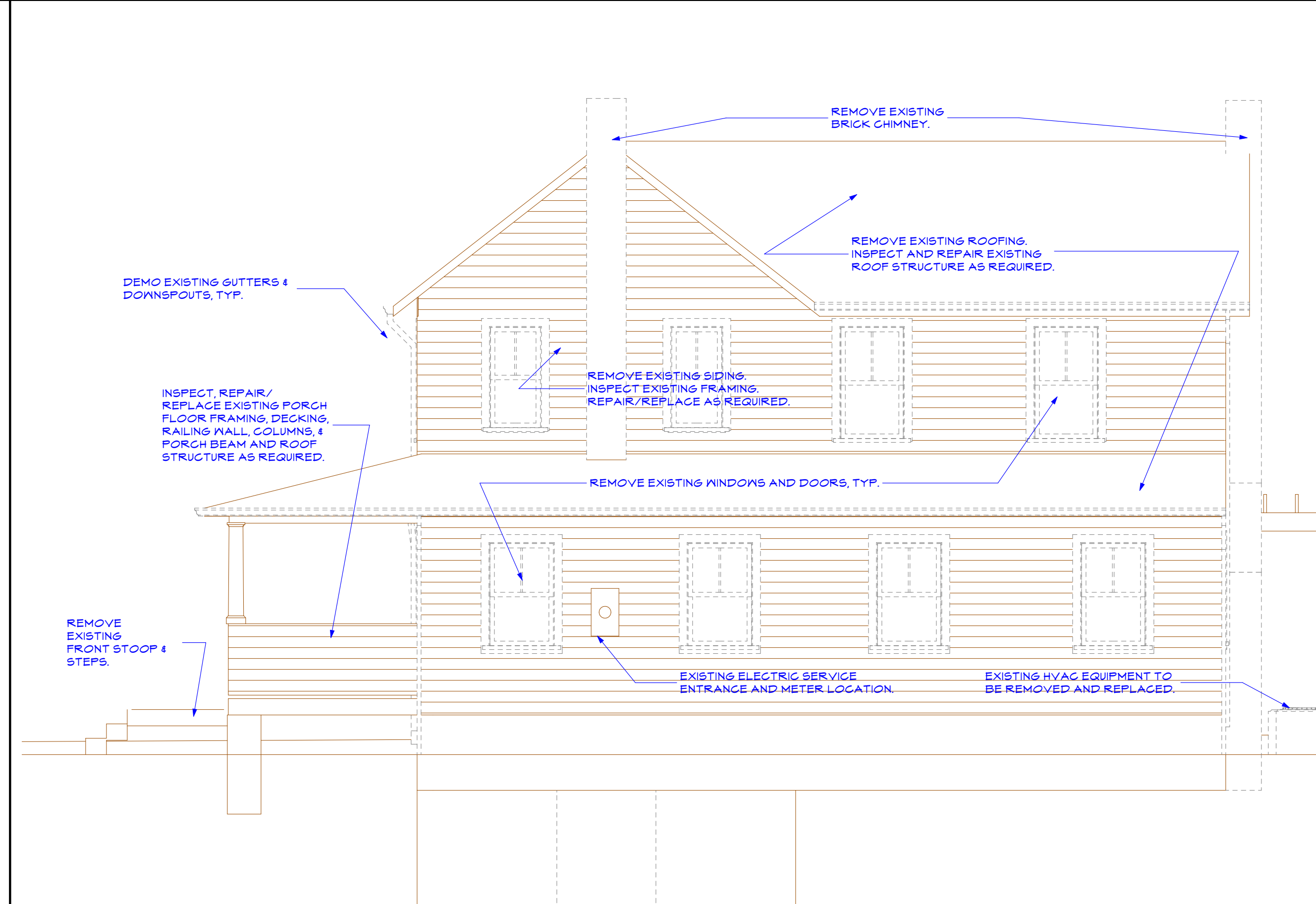
**G8 SOUTH DEMOLITION ELEVATION**

1/4" = 1'-0"



**A1 WEST DEMOLITION ELEVATION**

1/4" = 1'-0"



**A8 NORTH DEMOLITION ELEVATION**

1/4" = 1'-0"

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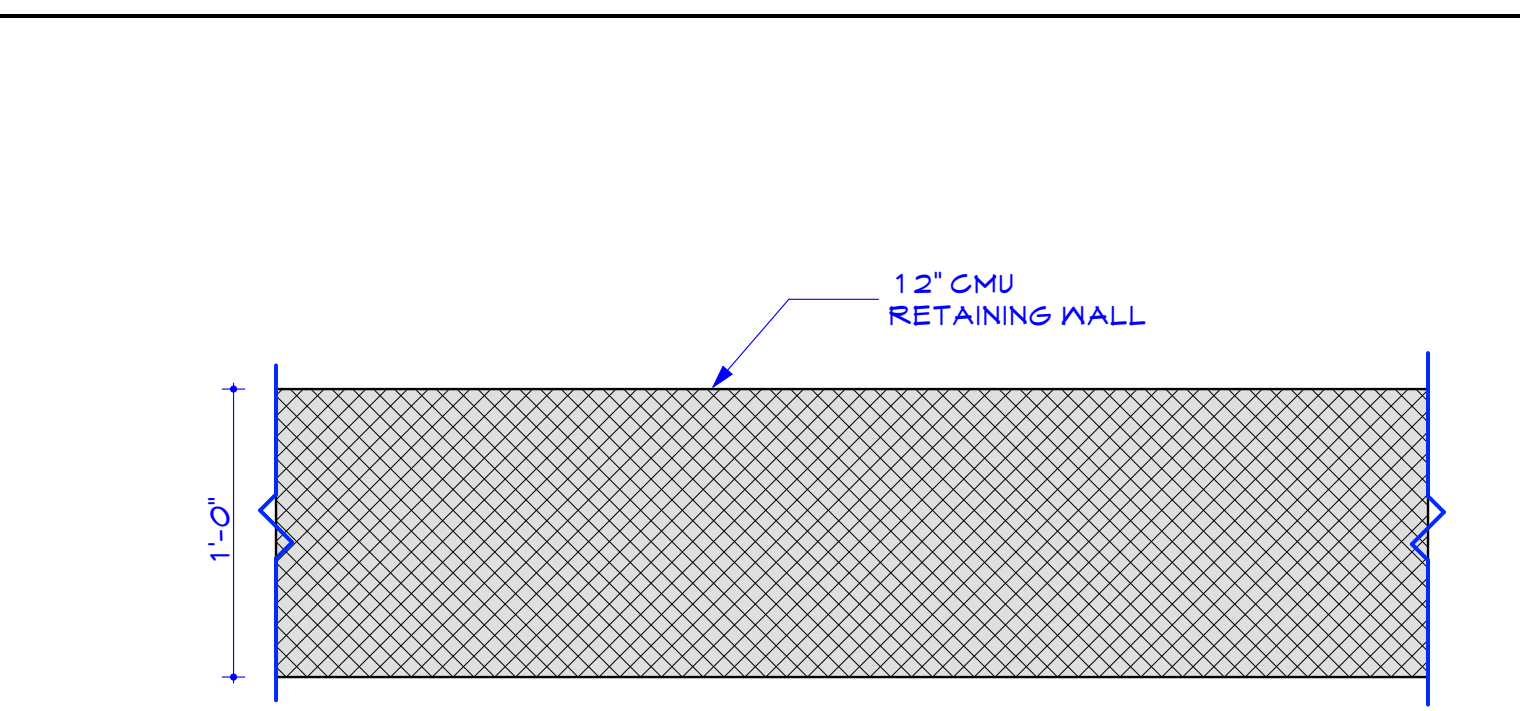
**DEMOLITION ELEVATIONS**

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	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	D102
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25		5 of 16

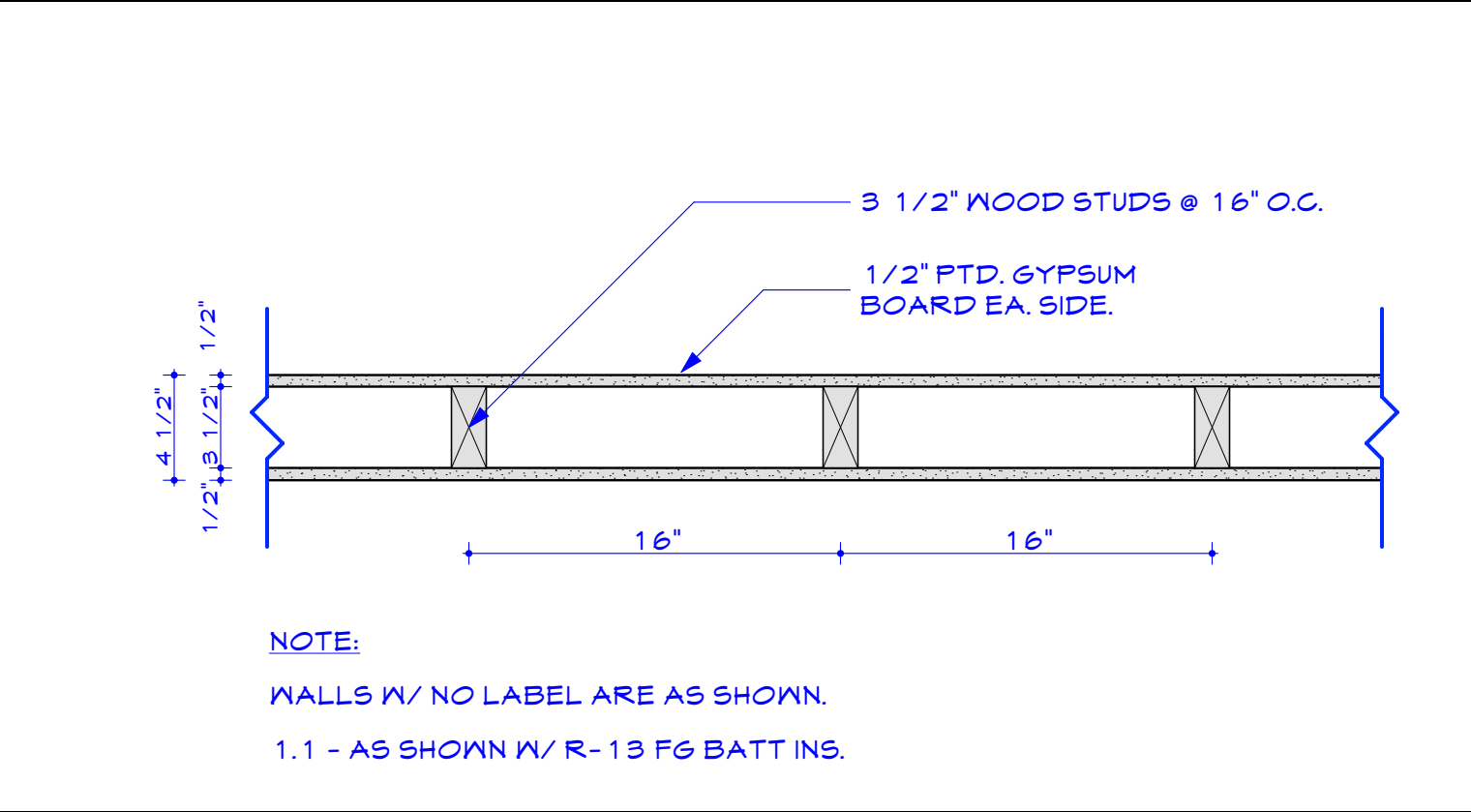
DOOR TYPES									
ID	001	101	102	103	105	106	107	108	109
VIEW									
DIMENSIONS	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	2'-6"×6'-8"	4'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"
FIRE RATING	N/R	N/R	N/R	N/R	N/R	N/R	N/R	N/R	N/R
SMOKE RATED	No	No	No	No	No	No	No	No	No
REMARKS	EXTERIOR DOOR	EXTERIOR DOOR	EXTERIOR DOOR		CASED OPENING				

DOOR TYPES						
ID	201	202	203	204	205	206
VIEW						
DIMENSIONS	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"	3'-0"×6'-8"
FIRE RATING	N/R	N/R	N/R	N/R	N/R	N/R
SMOKE RATED	No	No	No	No	No	No
REMARKS	EXTERIOR DOOR					CASED OPENING



**G1 DOOR TYPES** **G11 WALL TYPE W2**

DOOR SCHEDULE															
ID	DOOR TYPE	DOOR PANEL				FRAME		HARDWARE				RATINGS		REMARKS	
		NOMINAL SIZE	ACTION	MAT.	FIN.	MAT.	FIN.	HINGES	LOCKSET FUNCTION	CLOSER	PANIC HARDWARE	FIRE	SMOKE		
WIDTH	HEIGHT														
<b>BASEMENT</b>															
001	Half-Glass	3'-0"	6'-8"	Hinged	Ins. Stil.	Paint	Hollow Mtl.	Paint	1.5 PR	Entrance	No	No	N/R	No	EXTERIOR DOOR
<b>FIRST FLOOR</b>															
101	Half-Glass	3'-0"	6'-8"	Hinged	Ins. Stil.	Paint	Wood	Paint	1.5 PR	Entrance	No	No	N/R	No	EXTERIOR DOOR
102	Half-Glass	3'-0"	6'-8"	Hinged	Ins. Stil.	Paint	Wood	Paint	1.5 PR	Entrance	No	No	N/R	No	EXTERIOR DOOR
103	Panel	2'-6"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
105	--	4'-0"	6'-8"	--	--	--	Wood	Paint	--	--	--	--	N/R	No	CASED OPENING
106	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Restroom	No	No	N/R	No	
107	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
108	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
109	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
<b>SECOND FLOOR</b>															
201	Half-Glass	3'-0"	6'-8"	Hinged	Ins. Stil.	Paint	Wood	Paint	1.5 PR	Entrance	No	No	N/R	No	EXTERIOR DOOR
202	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
203	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Restroom	No	No	N/R	No	
204	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
205	Panel	3'-0"	6'-8"	Hinged	Masonite	Paint	Wood	Paint	1.5 PR	Office	No	No	N/R	No	
206	--	3'-0"	6'-8"	--	--	--	Wood	Paint	--	--	--	--	N/R	No	CASED OPENING



**D11 WALL TYPE W1**

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**KOPP HOUSE ADDITION**  
160 FARREN AVE  
SOLOMONS, MD 20688

**DOOR & WINDOW SCHEDULES**

**ARCHITECT'S CERTIFICATION STATEMENT**  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 17382 EXPIRATION DATE: AUGUST 21, 2024.

	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	A001
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25	Page	6 of 16

**A1 DOOR SCHEDULE**

WINDOW TYPES				
ID	A	B	C	D
EXTERIOR VIEW				
DIMENSIONS	2'-4 1/2"×4'-11 1/2"	2'-10 1/2"×4'-6 1/2"	2'-10 1/2"×4'-11 1/2"	2'-4 1/2"×4'-6 1/2"
TYPE	Double Hung	Double Hung	Double Hung	Double Hung
QUANTITY	6	5	13	4
REMARKS				

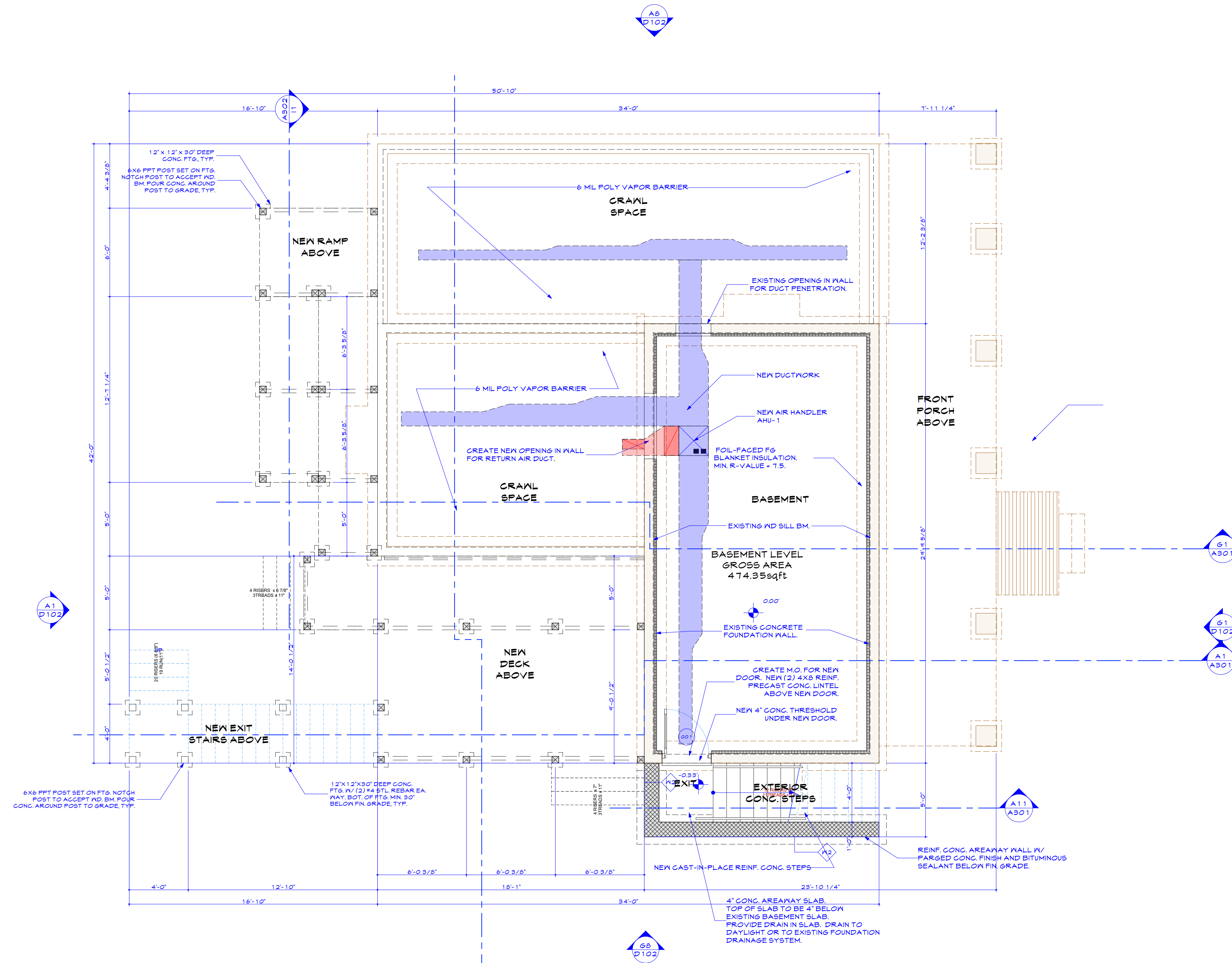
**A9 WINDOW TYPES**



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**KOPP HOUSE ADDITION**  
160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title  
**BASEMENT PLAN**

**ARCHITECT'S CERTIFICATION STATEMENT**  
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	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	A101
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25	Page	7 of 16

**A1 BASEMENT/FOUNDATION PLAN**

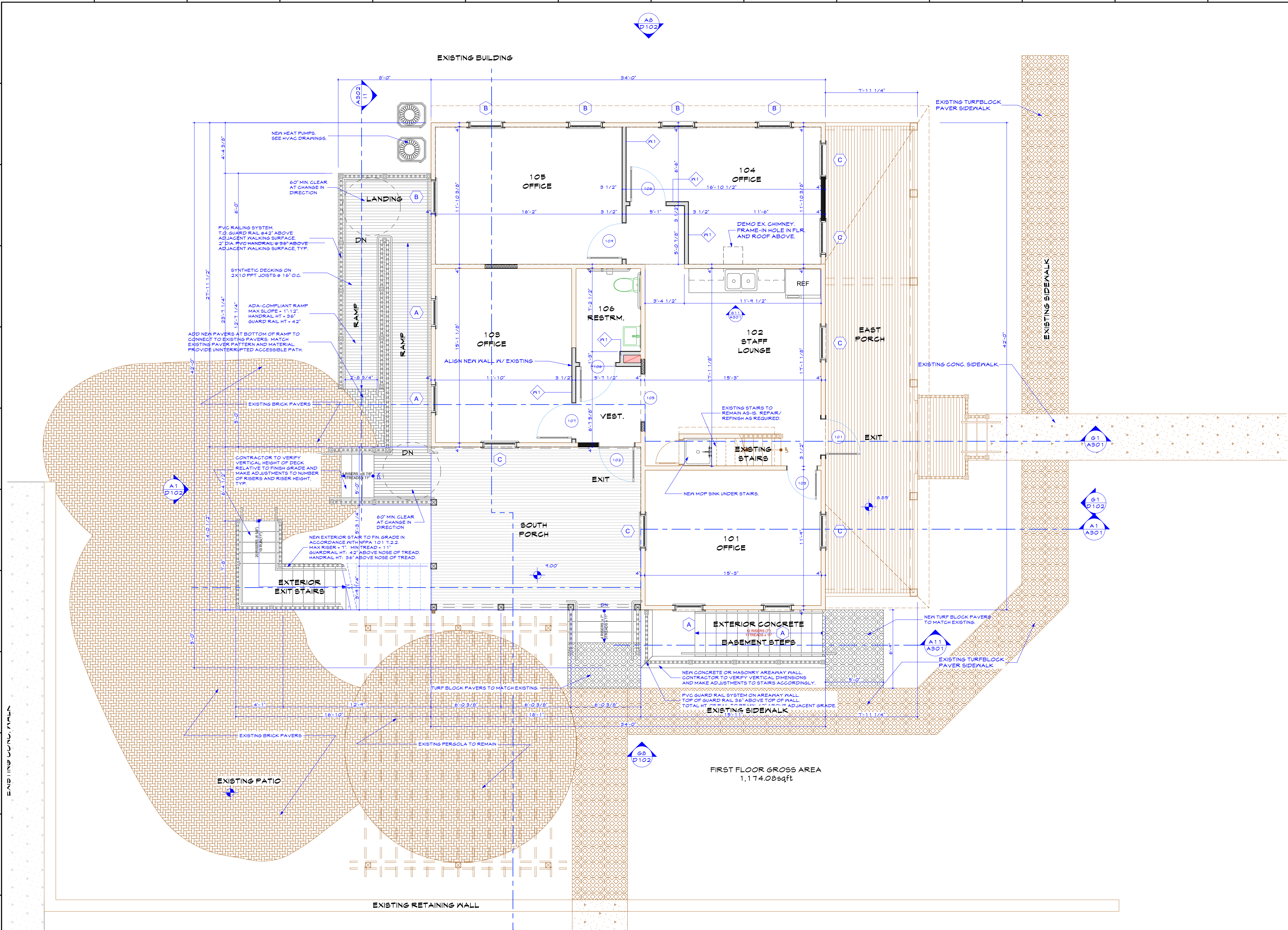
1/4" = 1'-0"

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FIRST FLOOR GROSS AREA  
1,174.08sqft

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No.	Revisions/Submissions	Date

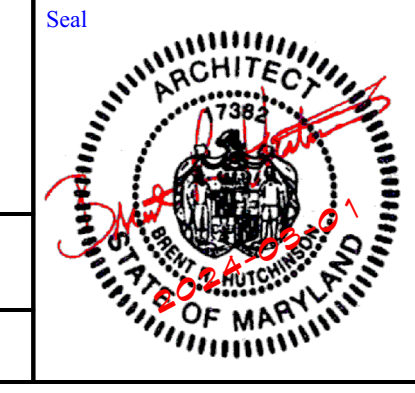
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**KOPP HOUSE ADDITION**  
160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title  
**FIRST FLOOR PLAN**

**ARCHITECT'S CERTIFICATION STATEMENT**  
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LICENSE NUMBER: 17382 EXPIRATION DATE: AUGUST 21, 2024.

Scale	Designed	Project No.
	BRH	02-2219
	Drawn	Scale AS SHOWN
	BRH	
	Checked	Drawing No.
	BRH	A102
	Reviewed	
	BRH	
	Date	8 of 16
	2024-03-25	



**A1 FIRST FLOOR PLAN**

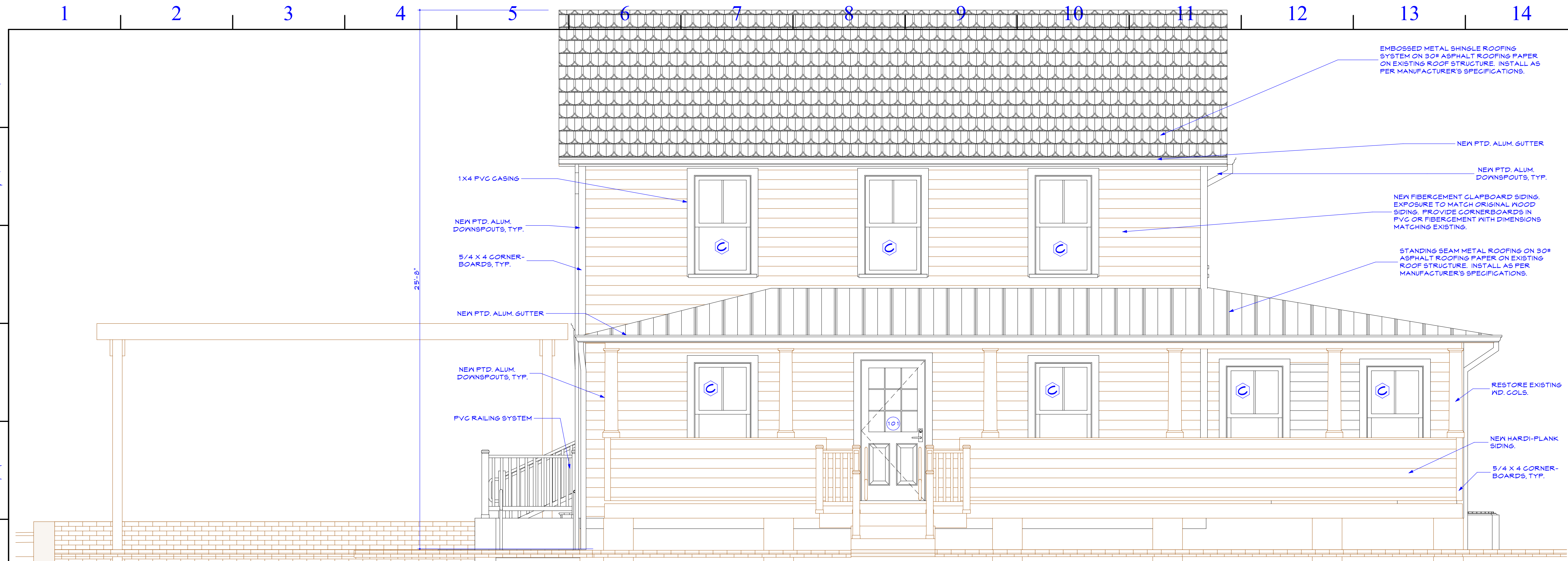
1/4" = 1'-0"

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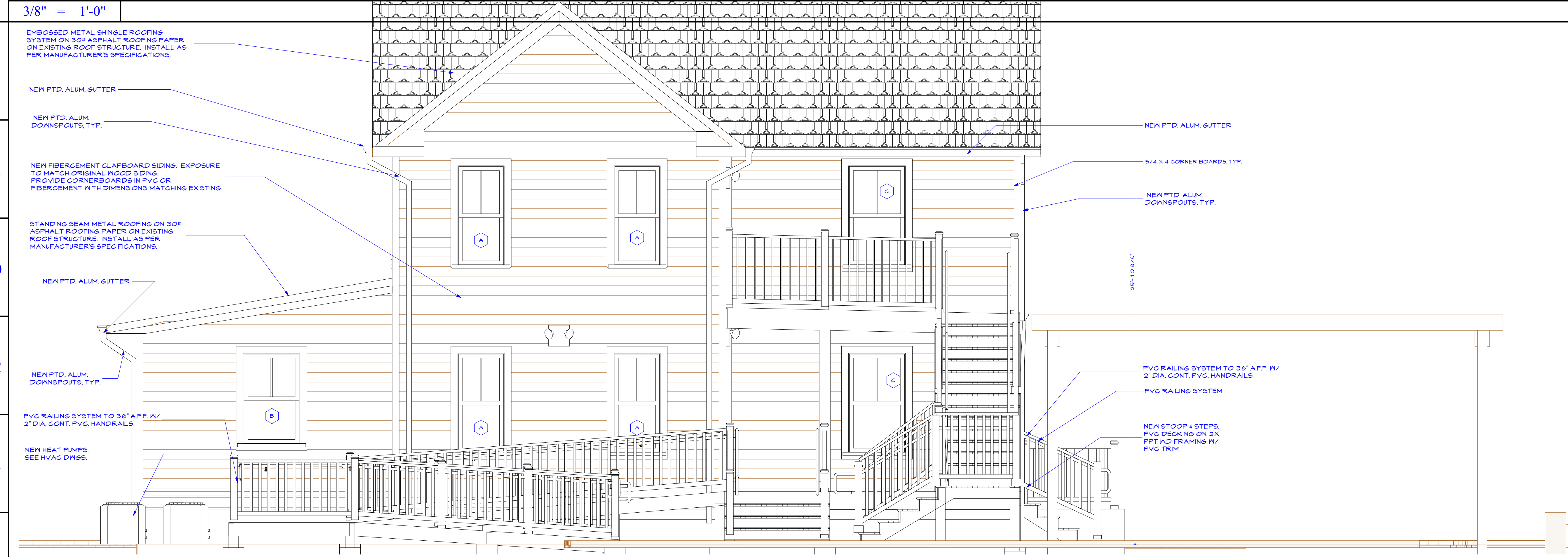






**G1 EAST ELEVATION**

3/8" = 1'-0"



**A1 WEST ELEVATION**

3/8" = 1'-0"

EMBOSSSED METAL SHINGLE ROOFING SYSTEM ON 30# ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

NEW PTD. ALUM. GUTTER

NEW PTD. ALUM. DOWNSPOUTS, TYP.

NEW FIBERCEMENT CLAPBOARD SIDING. EXPOSURE TO MATCH ORIGINAL WOOD SIDING. PROVIDE CORNERBOARDS IN PVC OR FIBERCEMENT WITH DIMENSIONS MATCHING EXISTING.

STANDING SEAM METAL ROOFING ON 30# ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

RESTORE EXISTING WD. COLS.

NEW HARDI-PLANK SIDING.

5/4 X 4 CORNER-BOARDS, TYP.

1X4 PVC CASING

NEW PTD. ALUM. DOWNSPOUTS, TYP.

5/4 X 4 CORNER-BOARDS, TYP.

NEW PTD. ALUM. GUTTER

NEW PTD. ALUM. DOWNSPOUTS, TYP.

PVC RAILING SYSTEM

EMBOSSSED METAL SHINGLE ROOFING SYSTEM ON 30# ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

NEW PTD. ALUM. GUTTER

NEW PTD. ALUM. DOWNSPOUTS, TYP.

NEW FIBERCEMENT CLAPBOARD SIDING. EXPOSURE TO MATCH ORIGINAL WOOD SIDING. PROVIDE CORNERBOARDS IN PVC OR FIBERCEMENT WITH DIMENSIONS MATCHING EXISTING.

STANDING SEAM METAL ROOFING ON 30# ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

NEW PTD. ALUM. GUTTER

NEW PTD. ALUM. DOWNSPOUTS, TYP.

5/4 X 4 CORNER-BOARDS, TYP.

NEW PTD. ALUM. DOWNSPOUTS, TYP.

PVC RAILING SYSTEM TO 36" AFF. IV. 2" DIA. CONT. PVC HANDRAILS

PVC RAILING SYSTEM

NEW STOOP 4 STEPS. PVC DECKING ON 2X 8" FT. WD FRAMING IV. PVC TRIM

NEW HEAT PUMPS. SEE HVAC DNGS.

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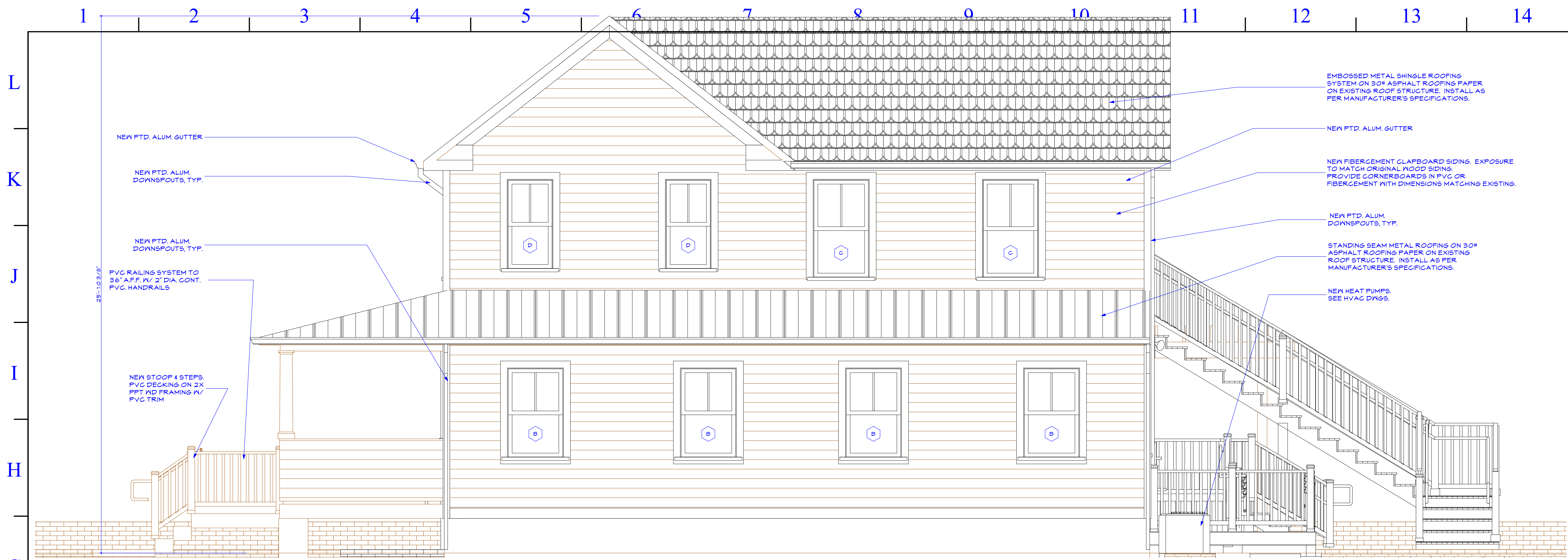
Drawing Title  
**EAST & WEST ELEVATIONS**

**ARCHITECT'S CERTIFICATION STATEMENT**  
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Scale	Designed	Project No.
	BRH	02-2219
Drawn	Scale	AS SHOWN
BRH		
Checked	Drawn No.	
BRH		
Reviewed		A201
BRH		
Date	2024-03-25	10 of 16







**G1 NORTH ELEVATION**

3/8" = 1'-0"



**A1 SOUTH ELEVATION**

3/8" = 1'-0"

EMBOSSED METAL SHINGLE ROOFING SYSTEM ON 30° ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

NEW PTD. ALUM. GUTTER

NEW FIBERCEMENT GLAPBOARD SIDING. EXPOSURE TO MATCH ORIGINAL ROOF SIDING. PROVIDE CORNERBOARDS IN PVC OR FIBERCEMENT WITH DIMENSIONS MATCHING EXISTING.

NEW PTD. ALUM. DOWNSPOUTS, TYP.

STANDING SEAM METAL ROOFING ON 30° ASPHALT ROOFING PAPER ON EXISTING ROOF STRUCTURE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

NEW HEAT PUMPS SEE HVAC DWGS.

NEW PTD. ALUM. GUTTER

NEW PTD. ALUM. DOWNSPOUTS, TYP.

NEW PTD. ALUM. DOWNSPOUTS, TYP.

PVC RAILING SYSTEM TO 36" AFF. IV. 2" DIA. CONT. PVC HANDRAILS

NEW STOOP 4 STEPS. PVC DECKING ON 2X PFT KD FRAMING IV. PVC TRIM

BERRIDGE VICTORIAN EMBOSSED METAL ROOFING PANELS

PTD. ALUM. GUTTER ON 1X6 PVC FASCIA

PTD. ALUM. DOWNSPOUT

1X4 CORNERBOARDS

PVC RAILING SYSTEM TO 42" AFF. TYP.

PTD. ALUM. GUTTER

PTD. ALUM. D.S.

PFT KD STRINGERS IV. SYNTHETIC 2X TREADS AND PVC RISERS AND TRIM.

PVC RAILING SYSTEM TO 42" AFF. TYP. IV. 2" DIA. PVC CONTINUOUS HANDRAILS AT 36" AFF.

6x6 PFT POST IV. PVC WRAP.

12" SQUARE X 24" CONC. FTG. BOT. OF FTG. MIN 30" BELOW FIN. GR.

1X6 PVC RAKE TRIM

1X4 PVC CASING

5/4X6 PVC RAKE TRIM

1X6 PVC FASCIA TRIM

PTD. ALUM. GUTTER

PTD. ALUM. DOWNSPOUT

1X4 PVC CORNER BOARDS

STANDING SEAM METAL ROOFING

PTD. ALUM. GUTTER ON 1X6 PVC FASCIA BD.

PTD. ALUM. D.S.

PVC RAILING SYSTEM ON PARSED CMU AREAWAY RETAINING WALL. TOP RAIL 36" ABOVE TOP OF WALL.

RESTORED MD. COL.

FIBERCEMENT GLAPBOARD SIDING.

REPAIR/RESTORE EXISTING STOOP 4 RAILINGS AS REQD.

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No.	Revisions/Submissions	Date

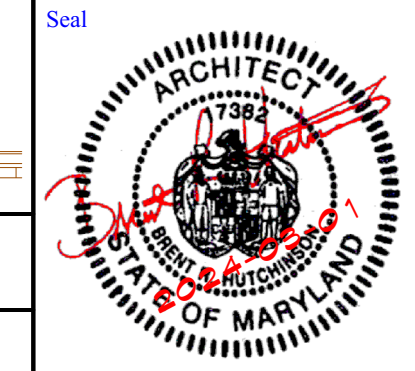
  
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**KOPP HOUSE ADDITION**  
 160 FARREN AVE  
 SOLOMONS, MD 20688

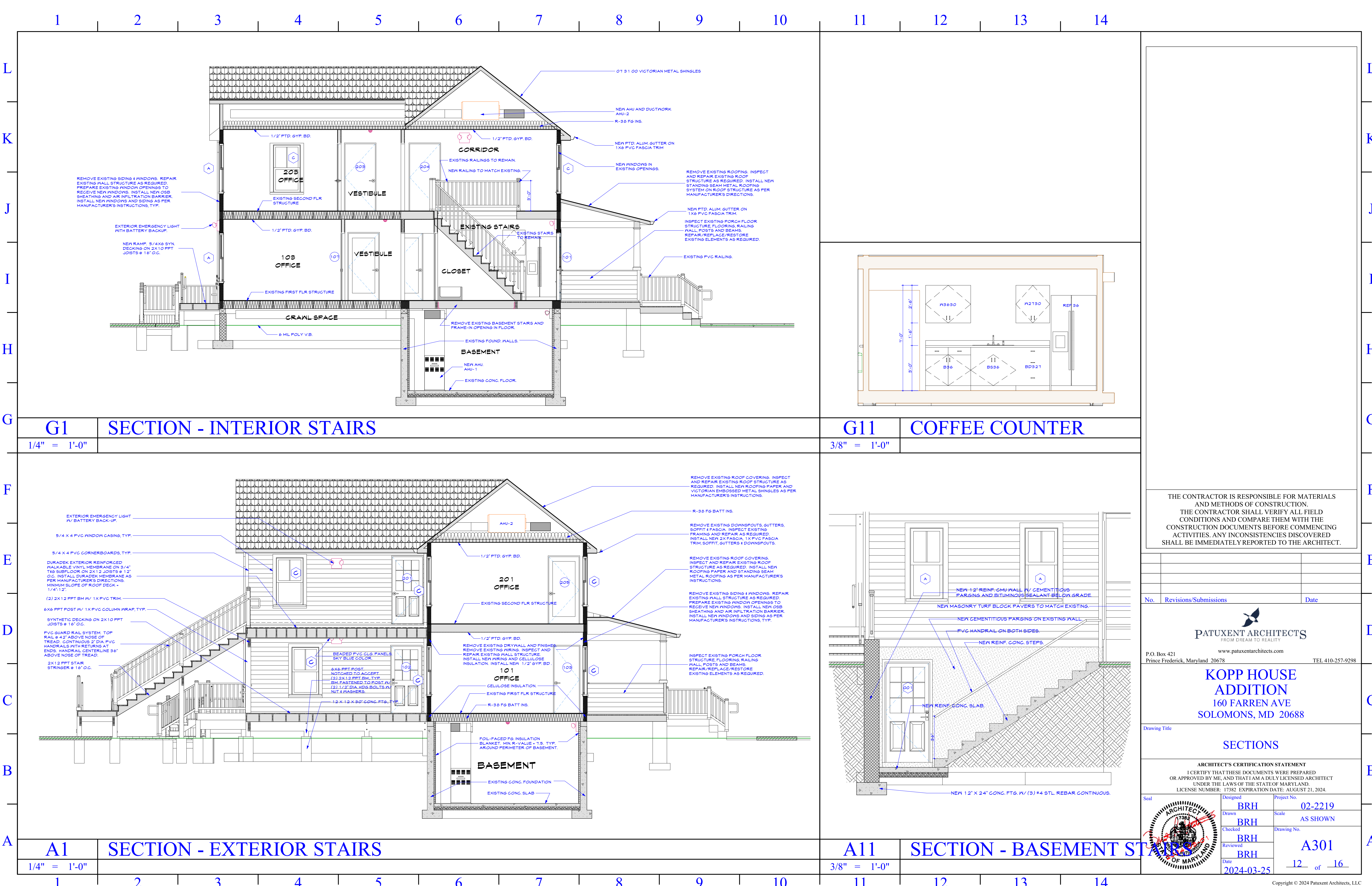
Drawing Title  
**NORTH & SOUTH ELEVATIONS**

**ARCHITECT'S CERTIFICATION STATEMENT**  
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Scale	Designed	Project No.
	BRH	02-2219
	Drawn	Scale AS SHOWN
	BRH	
	Checked	Drawing No.
	BRH	A202
	Reviewed	
	BRH	
	Date	11 of 16
	2024-03-25	







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**KOPP HOUSE ADDITION**  
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**SECTIONS**

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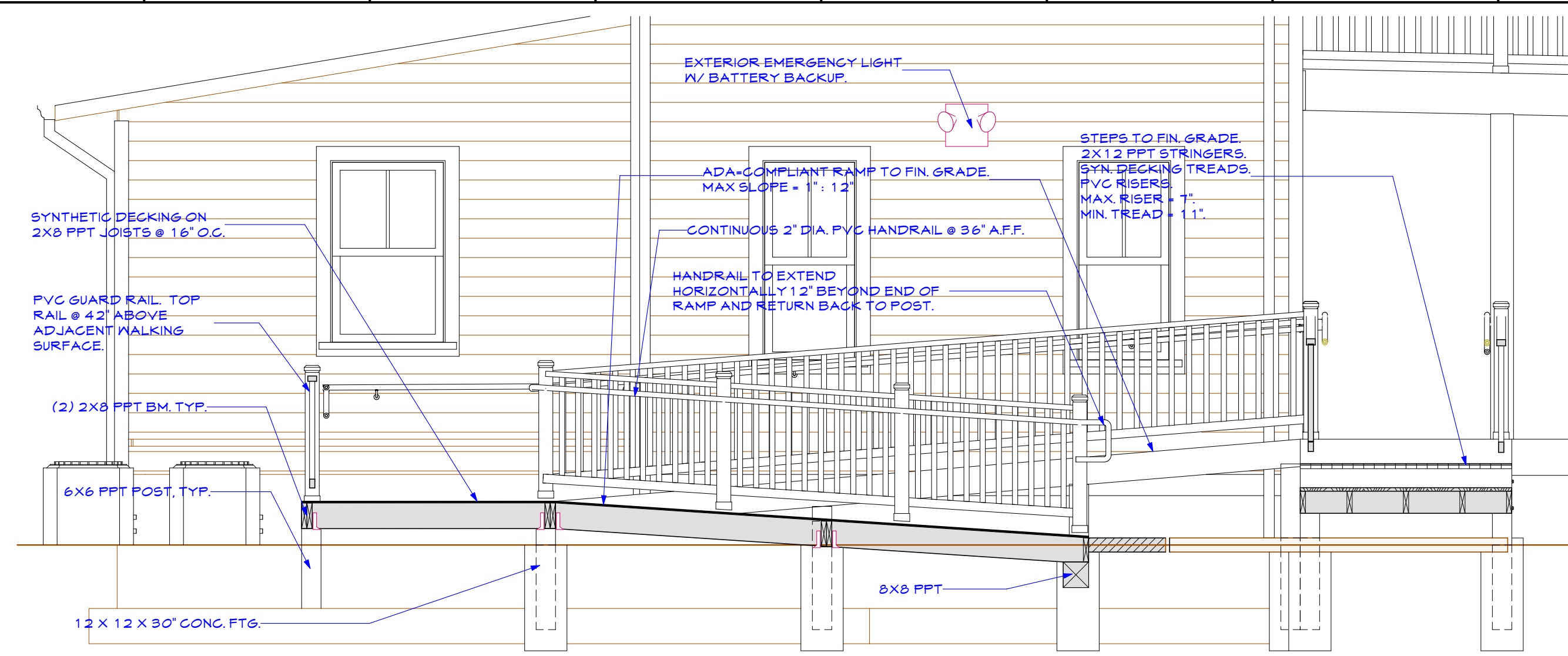
Designed	Project No.
BRH	02-2219
Drawn	Scale
BRH	AS SHOWN
Checked	Drawing No.
BRH	A301
Reviewed	
BRH	
Date	
2024-03-25	12 of 16





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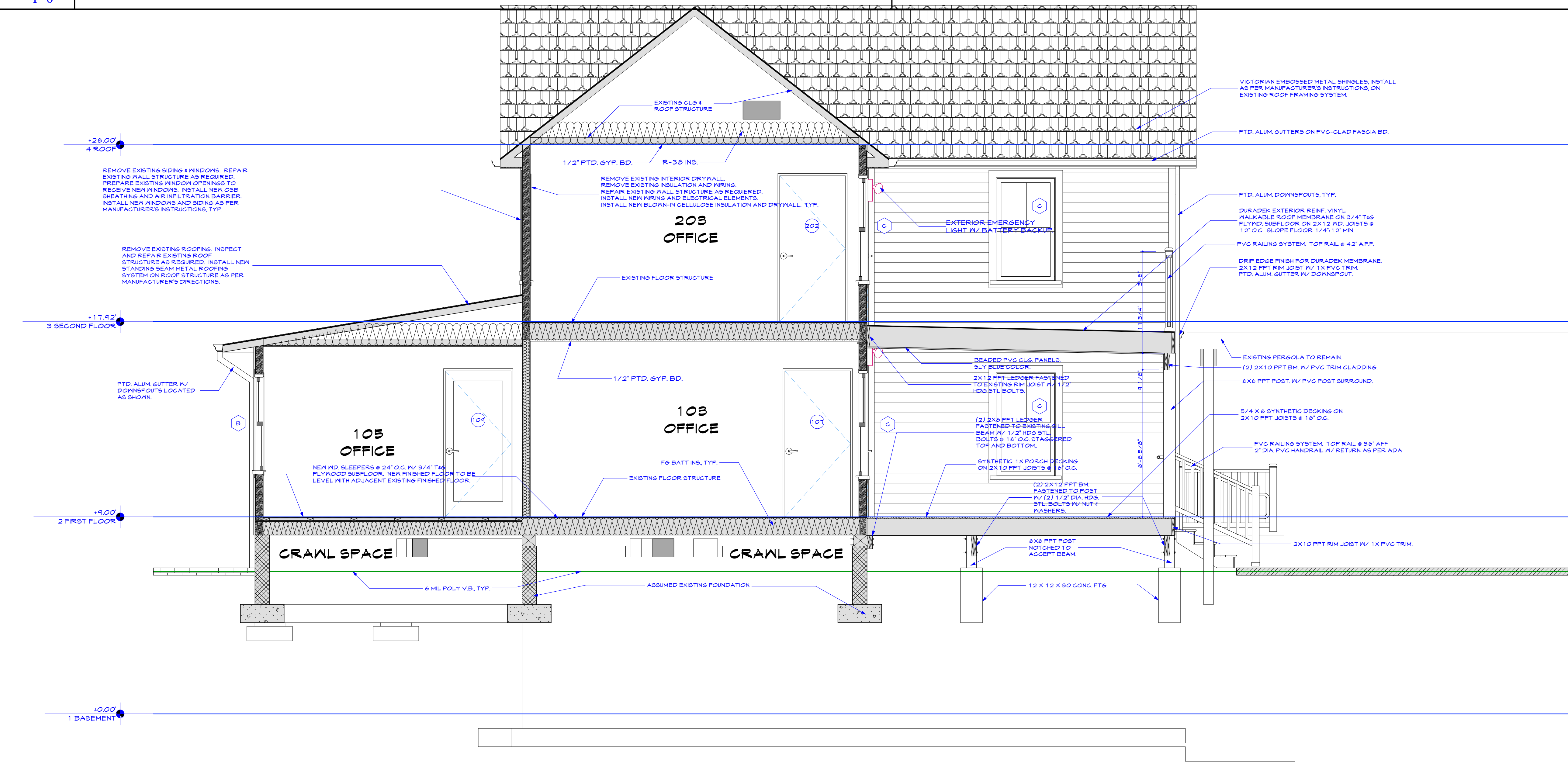
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**II SECTION - RAMP**

3/8" = 1'-0"

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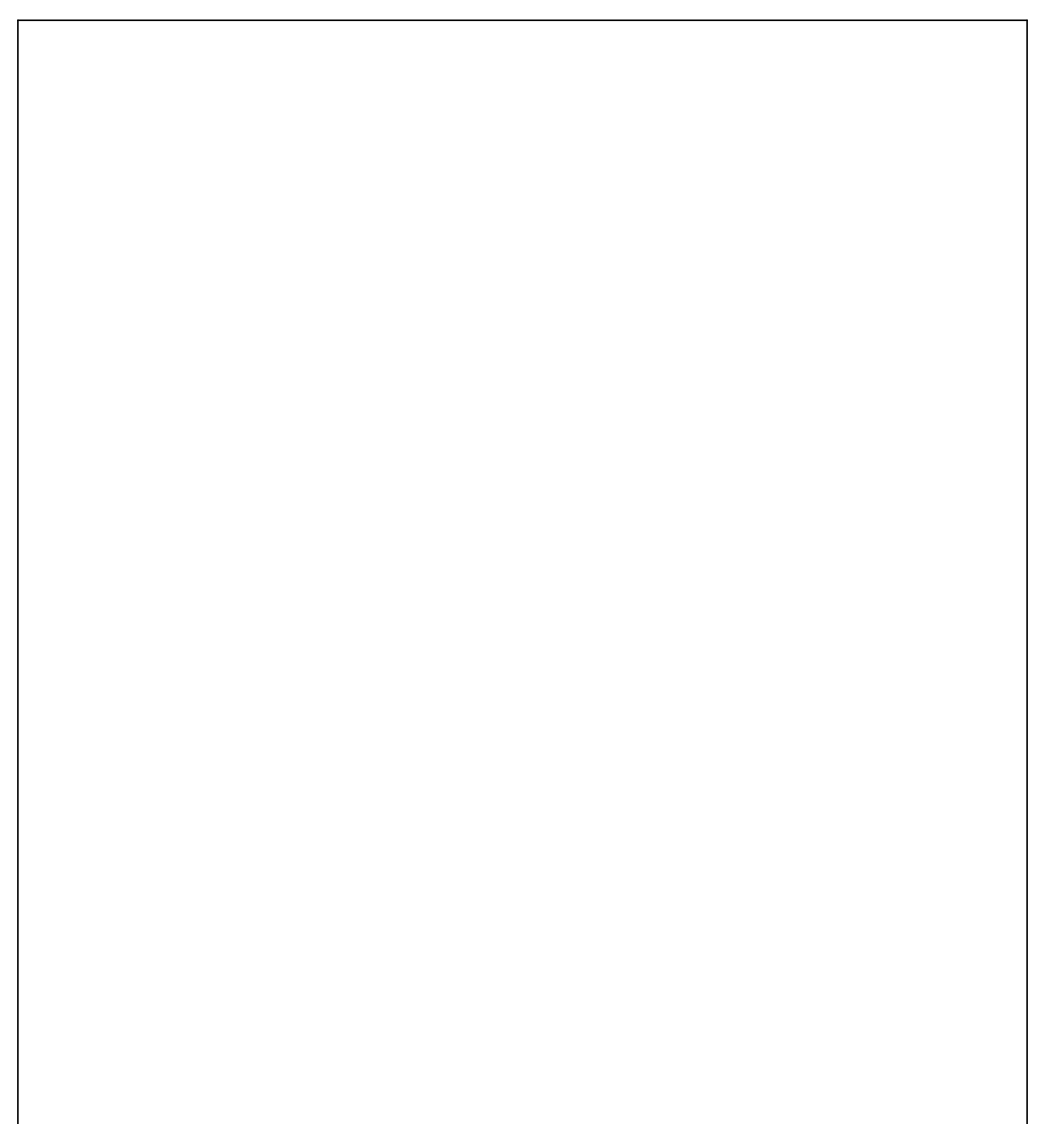


**A1 SECTION - SOUTH PORCH**

3/8" = 1'-0"

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SOLOMONS, MD 20688

SECTION

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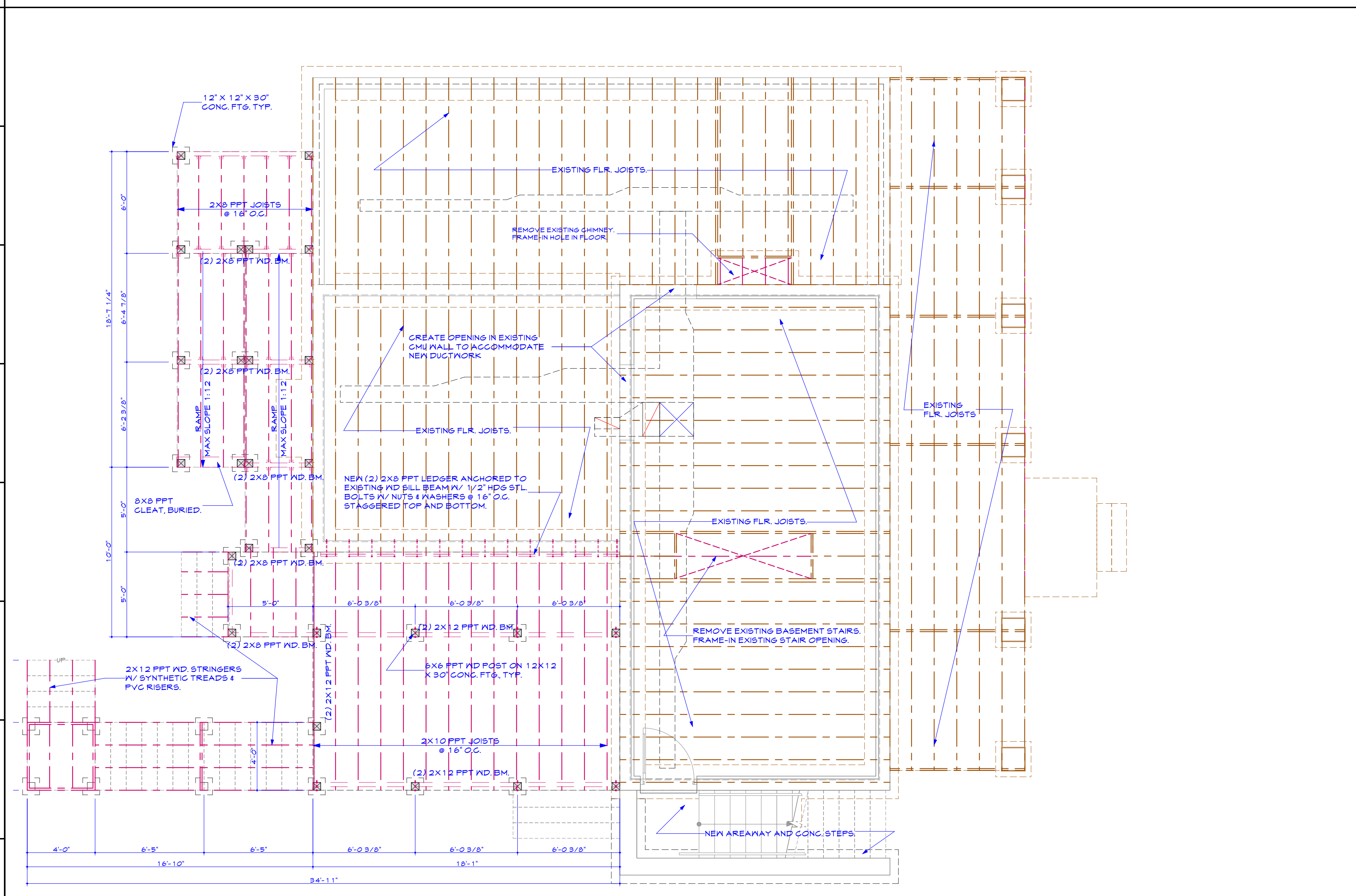
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	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	A302
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25	13	of 16



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**KOPP HOUSE ADDITION**  
160 FARREN AVE  
SOLOMONS, MD 20688

Drawing Title  
**FIRST FLOOR FRAMING PLAN**

**ARCHITECT'S CERTIFICATION STATEMENT**  
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	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	S101
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25	14	of 16

**A1 FIRST FLOOR FRAMING PLAN**

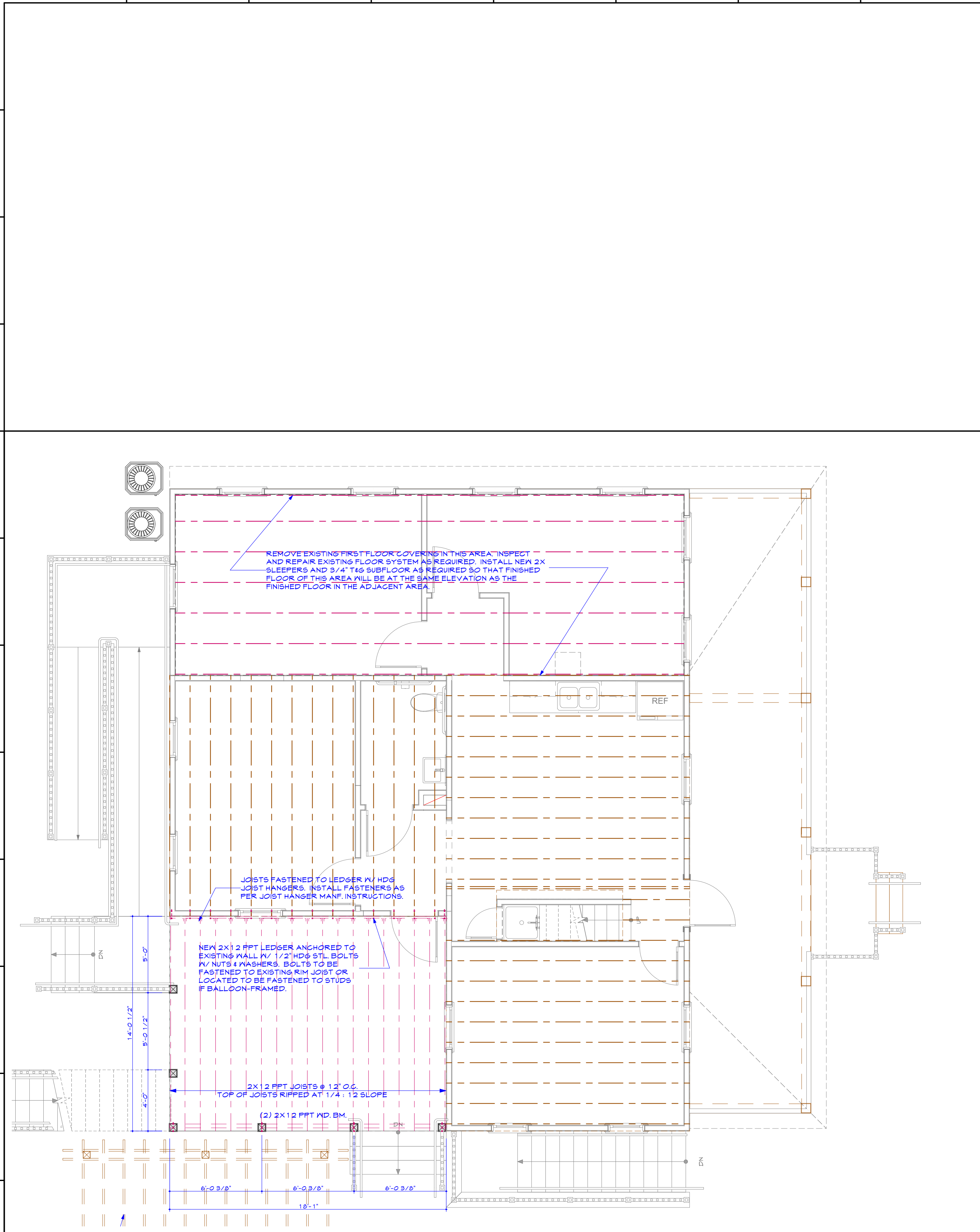
1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14



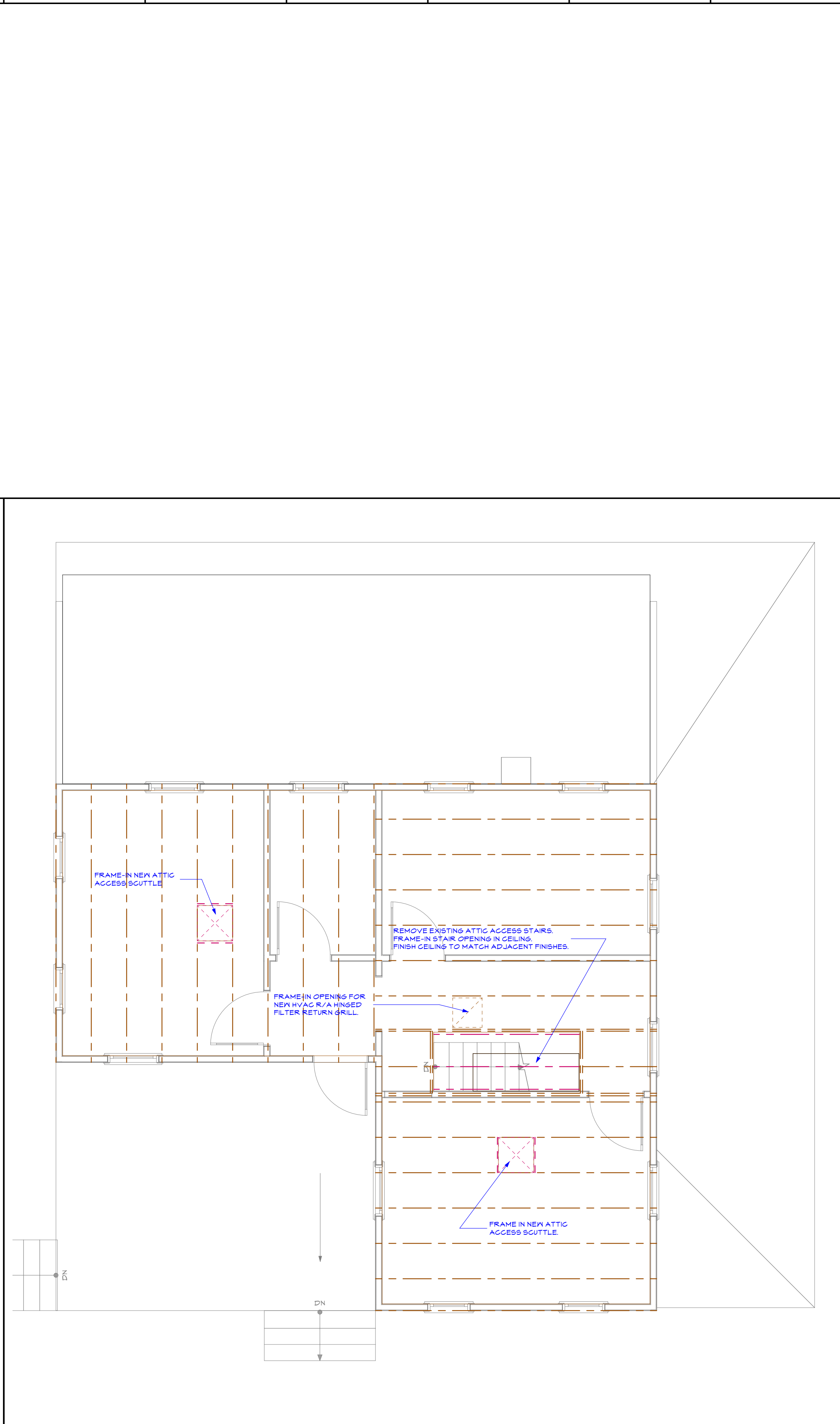
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A1 SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



A9 CEILING FRAMING PLAN

1/4" = 1'-0"

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No.	Revisions/Submissions	Date

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SECOND FLOOR FRAMING PLAN

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	Designed	BRH	Project No.	02-2219
	Drawn	BRH	Scale	AS SHOWN
	Checked	BRH	Drawing No.	S102
	Reviewed	BRH	Date	2024-03-25
	Date	2024-03-25		15 of 16



