PROJECT INFORMATION:

OWNER / PROJECT ADDRESS:
MICHAEL McCOOK & SUE DAVIS
9200 TAYLOES NECK ROAD
NANJEMOY, MD 20662
301-580-1449

ARCHITECT:
L D HOLMES ARCHTIECTS, PC
313 EAST CHARLES ST, STE B
LA PLATA, MD 20646
301-934-8078

GENERAL NOTES:

1. No Changes to the plans are permitted. The architect shall not be responsible for any departure from these drawings at any time during construction.

2. All layout Dimensions as indicated shall be adjusted where required. Rough openings required by specific building components shall take precedence for proper fit of finished component.

3. Never scale drawings: Contactor shall refer to written dimensions only. All dimensions and conditions shall be verified in the field and any discrepancies reported to the architects prior to construction. In all cases the details and drawings shall be checked with existing conditions from work in place, and variations, if any, be referred to the architect for adjustment. The contractor will be held responsible for the fit of work in place.

4. All work shall be done in accordance with local codes and as indicated on drawings.

GOVERNING CODES:
International Residential Code 2018 [IRC 2018]
Code of Maryland Regulations
Maryland State Fire Prevention Code

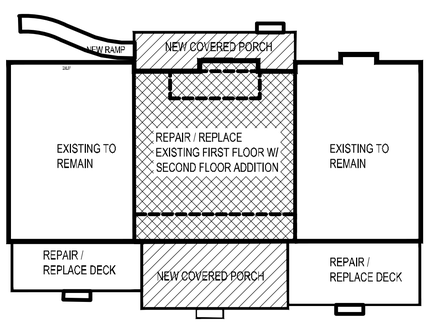
DESIGN CRITERIA:
Ground Snow Load: 25 PSF
Basic Wind Speed: 115 Mph
EXPOSURE CATEGORY: D
Seismic Design Category: A
Subject to Damage from:
- Weathering: Severe
- Frost Line Depth: 24"
- Termites: Moderate to Heavy

Live Loads:
Floors.....40 psf
Floors - Bedrooms.....30 psf
Attics w/out Storage.....10 psf
Attics w/ Storage.....20 psf
Roof Loads.....25 psf (Basic Ground Snow Load)
Decks.....40 psf

AREA CALCULATION:

FIRST FLOOR EXISTING	3056 SF
FIRST FLOOR ADDITIONS	572 SF
SECOND FLOOR ADDITION	1388 SF
TOTAL FINISHED SPACE	5016 SF
COVERED PORCH ADDITIONS	712 SF

KEY PLAN:



WATER SUPPLY: Private Existing

SEWER: Private Existing B.A.T. System

SPRINKLER SYSTEM:
NOT REQUIRED for Residential Additions and Alterations per the Maryland State Fire Prevention Code.

HAZARD DETECTION:
Smoke Detectors shall be provided in every bedroom, immediately outside bedroom units, on each floor and as indicated on plans. Carbon Monoxide Detectors shall be provided immediately outside bedroom units and as indicated on plans. All safety detectors shall be hardwired with battery backup. Carbon Monoxide and Smoke Detectors shall have a distinct and separate alarm. Detectors shall comply with ANSI/UL 2034.

REPLACE / PROVIDE Smoke Detectors in existing 3 bedrooms / corridor with compatible alarms. Interconnect all alrams for notification throughout the house.

EGRESS REQUIREMENTS: Basements with habitable space and every bedroom shall have at least one operable window or door directly to exterior that complies with Section R310 and is approved for Emergency Egress. Operation must not require the use of special tools or knowledge.
- Sill Height: 44" Max
- Clear Opening: 5.7 SF [5.0 SF Grade Level only
- Clear Opening Height: 24" Min
- Clear Opening Width: 20" Min

TEMPERED GLASS: Required in hazardous locations as described in R308.4 including but not limited to all door panels, Windows having a sill height of less than 18" A.F.F., and windows located adjacent to Bath Tubs, Whirl Pools or Showers.

FIRE AND DRAFTSTOPPING: Fire and draft stop all dropped soffits and ceilings and any other concealed areas where fire / draft stopping is required by code.

CONSTRUCTION NOTES:

FOUNDATIONS:
In the absence of a Soils Report, Foundations shall be designed for an assumed Soil bearing capacity of 1,500 PSF on undisturbed natural soil or controlled fill compacted to 95%. The bottom of all exterior footings and any footings that may be subject to frost action shall extend a minimum of 2'-0" below grade, unless a lower elevation is indicated.

CAST IN PLACE CONCRETE:
All concrete shall be normal weight concrete with a compressive strength of 3,500 psi @ 28 days. All concrete exposed to weather shall be air entrained, 6% +/- 1%. Concrete slabs shall be trowel finished, reinforced with 6 x 6 - W1.4 x W1.4 welded wire mesh. Exterior exposed patios or other appurtenances shall be broom finished.

STRUCTURAL LUMBER AND FRAMING:
CONNECTIONS:
All nailed connections to comply with the fastener schedule IRC Table 602.3(1) - 602.3(5) unless otherwise noted. Sheathing nailing to comply with same schedule and or manufacturer's recommended specifications, whichever is more stringent. Braced wall panels in accordance with 602.10 and per plans.

WOOD CONNECTORS: All Wood-to-Wood connectors shall be Simpson Strong-Tie Co., Inc. (or Approved Equal). All connectors and fasteners in contact with pressure-treated wood shall be type 316L Stainless Steel. The substitution of Simpson ZMAX Galvanized (G185) Connectors and fasteners shall only be allowed upon approval of local Building Code Official and Simpson Strong Tie Co. based on the contractor's submission of the specifications of the pressure-treated wood to be used on the project.

SILL PLATES / EXTERIOR FRAMING MEMBERS:
Foundation Sill Plates, exterior porches and stairs shall be constructed with Pressure Preservatively Treated lumber.

BEARING PARTITIONS:
Stud Framing lumber shall be 2 x 6's @ 16" O.C. Interior studs shall be 2 x 4's @ 24" o.c. unless otherwise noted. Studs shall be minimum No.2 Grade Material.

FIRST FLOOR FRAMING:
Shall be SPF No.2 or better (or Approved Equal) and to have a minimum Fiber Stress in Bending (Fb) of 775 PSI and a minimum Modulus of Elasticity of 1,100,000, unless otherwise noted.

SECOND FLOOR FRAMING:
Floor framing shall be Pre-Engineered Floor Trusses as indicated in plans. Floor Trusses shall be designed in accordance with local codes. Provide truss manufacture drawings bearing the Certification of a Maryland Registered Engineer.

ENGINEERED LUMBER:
TIMBERSTRAND LSL: Minimum Fiber Stress in Bending (Fb) of 2,325 PSI and a minimum Modulus of Elasticity of 1,550,000 PSI.
MICROLAM LVL: Minimum Fiber Stress in Bending (Fb) of 2,600 PSI and a minimum Modulus of Elasticity of 2,000,000 PSI

STRUCTURAL LUMBER: (Girders and Headers) to be SPF No.2 or better (or Approved Equal) and to have a minimum Fiber Stress in Bending (Fb) of 775 PSI and a minimum Modulus of Elasticity of 1,100,000 PSI unless otherwise noted.
SEE SCHEDULE FOR HEADER REQUIREMENTS.

ROOF FRAMING:
Roof Framing shall be pre-engineered roof trusses @ 24" O.C. to be designed in accordance with local codes. Intent is shown on plans. Provide truss manufacture drawings bearing the Certification of a Maryland Registered Engineer.

DECK FRAMING:
BACK SECOND STORY DECK AND TWO LOWER DECKS TO BE FORTRESS EVOLUTION STEEL FRAMING COMPONENTS. ALL COMPONENTS TO BE MATT BLACK.

STRUCTURAL SHEATHING:
SUBFLOORS: Wood Subfloors shall be 3/4" Avantech Tongue and Groove as manufactured by Huber. Floor sheathing shall be screwed and glued. Provide underlayment where ceramic tile is to be installed.

ROOF SHEATHING: Roof Sheathing shall be 5/8" Plywood Sheathing
EXTERIOR WALL SHEATHING: Wall Sheathing shall be 1/2" Plywood.

LOAD PATH: Continuous load path shall be maintained. Use Simpson Hurricane Ties at trusses, straps, and Sill Connectors as required by the building code and as indicated on plans and as indicated in Truss manufacturer's drawings.

THERMAL AND MOISTURE PROTECTION:
WATER RESISTIVE BARRIERS (WRB):
- Tyvek House Wrap or equal required all exterior walls.
- Rain Screen required at cultured stone walls.
- Lath as recommended at cultured stone walls.

ROOFING: Roofing shall be 30 Year Fiberglass Asphalt Shingles
ROOF UNDERLAYMENT: Roofing underlayment shall be 15# roofing felt. Two layers are required in low slope areas of 4:12 or less.

ICE AND WATER SHIELD: Provide Self-Adhering polymer modified bitumen sheet Ice and Water Shield 36" from eaves and perimeters.

EXTERIOR TRIM:
Exterior Trim including rakes, corner boards, casing, frieze boards, and fascia shall be as manufactured by VERSATEX. VERSATEX SHALL BE PAINTED PER MANUFACTURER'S RECOMMENDATIONS.
- Corners: 1 x 4 Stealth Corners
- Door/ Window Surround: 1 x 4 Stealth Trim
- Window Mulls: 1 x 6 Flat Trim
- Frieze Board: 1 x 6

*ALTERNATE: Provide alternate for TruExterior Trim.

SIDING:
As manufactured by James Hardie Co. Custom Stain Color as selected by owner and to match existing.
HARDIE PLANK LAP SIDING - Select Cedarmill 8 ¼" w/ 7" Exposure.
HARDIE SHINGLE Straight Edge Panel

EXTERIOR STONE VENEER: Exterior Stone Veneer shall be cultured stone as manufactured by El Dorado Stone. Pattern to be Hillstone in color A.S.O.
EXTERIOR STONE HEADERS: Doors and windows shall have monolithic square edge stone headers in coordinating color.
EXTERIOR EDGE BAND AT BACK PORCH: Eldorado Split Edge Wall Cap.

SOFFIT:
Vented and Unvented Vinyl Soffits. Color As Selected By Owner.

PORCH CEILING (FRONT):
Versatex Canvas Series NP4 with concealed fasteners. Color as selected by owner.

ARCHITECTURAL COLUMNS: Exterior Square, Non-tapered, Columns shall be Versatex Column Wraps in sizes as indicated in drawings.

GUTTERS AND DOWNSPOUTS:
Gutters shall be 6" Ogee or K Style continuous Prefinished Aluminum in brown. Downspouts shall be corrugated rectangular Prefinished Aluminum in brown. Provide scuppers where indicated on drawings.
Provide splash blocks at each down spout location.

INSULATION:
Floor: R-19 Batt
Walls: R-20 Batt
Ceilings: R-49 Batts

DOORS AND WINDOWS:

WINDOWS: All windows to meet 2018 Energy code. Windows shall be wood frame with exterior aluminum or Fiberglass cladding. Color to be Black. See Door and Window Schedules. Provide all hardware, locksets and jamb extensions as required. Jamb extensions to match windows. All operable units shall be equipped with insect screens.
Acceptable manufacturers: Andersen in sizes / styles as indicated in schedule.

GLAZING: Window Glazing shall be Low-E, Argon Filled insulated material. Tempered glass shall be supplied where required by code and in doors and windows with a sill height lower than 18" A.F.F. including windows @ bathtubs.

EXTERIOR ENTRY DOORS: Andersen Entry Doors. See Schedule.

FINISHES:
INTERIOR DOORS: Doors to be 1 ¾" Thick TruStile in sizes as indicated on plans.
Sticking: BV Beveled
Solid Panel: A Standard Panel
Glass Panel: Opaque Glass A.S.O. (Owner to indicate locations)
Panel Configuration to be determined.

INTERIOR TRIM:
Interior Trim: 1 x 4 S4S Primed, kiln dried lumber.
Interior Base: 1 x 6 S4S Primed, kiln dried lumber.

FLOORS: All finishes as selected by the Owner.
- Entry: A.S.O.
- Gathering Room / Kitchen: A.S.O.
- Laundry Room: Luxury Vinyl Tile
- Powder Room: Ceramic Tile
- Ensuite Bedroom: A.S.O.
- Ensuite Bathrooms: Ceramic Tile

SHOWER SYSTEMS:
- Master Bath: Custom Monolithic base solid surface material as selected by owner. Shower Doors shall be structural glass in configuration as shown.

GYPSUM WALL BOARD:
First Floor Walls: ½"
First Floor: ceiling: ⅝" Type X
Second Floor Walls: ½"
Bathrooms: Water Resistant 1/2" on walls - 5/8" on ceilings.

Backer Board: Durock Backer board shall be used in areas to receive tile.

Rough Coat Plaster: All joints shall be taped and spackled. Provide mock up panel of rough coat for owner / architect approval.

STAIR:
All steel components shall be matt black.
Stair treads shall be 2 1/2" thick x 42" wide. Wood species TBD.
Stringers shall be steel channels. Provide shop drawings to include all dimensions, steel stair rail attachment, brackets for tread attachment and finishing options.

Elevator:
Elevator design basis: Savaria Eclipse Model 40 x 54 TYPE 1L with 80" cab height. Note that selection of taller cab height will require coordination with the truss manufacturer. Available at www.PremierLifts.com. 10927 McCormick Road, Hunt Valley, MD 21031. 410-561-7006 x 209.

PLUMBING AND MECHANICAL:
HEATING AND AIR CONDITIONING: The HVAC system shall be a ducted Electric Heat Pump.

Gas Fireplace - Existing forced fan unit to be tested. Adjustments / repairs as necessary.

PLUMBING:
Existing On Demand Water Heater to remain.

ELECTRICAL:
Existing electric panels, transfer switch shall remain in place. Utility Room shall remain dried in during construction. Contractor and subcontractors shall meet on site to coordinate.

All outdoor fixtures, including lights and fans shall be rated for wet locations.

Cable and phone line connections in locations as selected by owner. A wired phone line is required for the elevator installation.

HARDWARE:
Exterior Doors. All doors shall be keyed alike.

ADD ALTERNATE 1
EXTERIOR SCREENS: Exterior Motorized Patio Screens by Phantom Screens.

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ldharchitects@aol.com

McCook Residence
9200 Tayloes Neck Road
Nanjemoy, MD 20662

STATE OF MARYLAND
LISA DAVIS HOLMES
8809
JUNE 20, 2024
LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/1/2025

CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

SUBMISSION:----
DATE:6/24/2024
REVISIONS:
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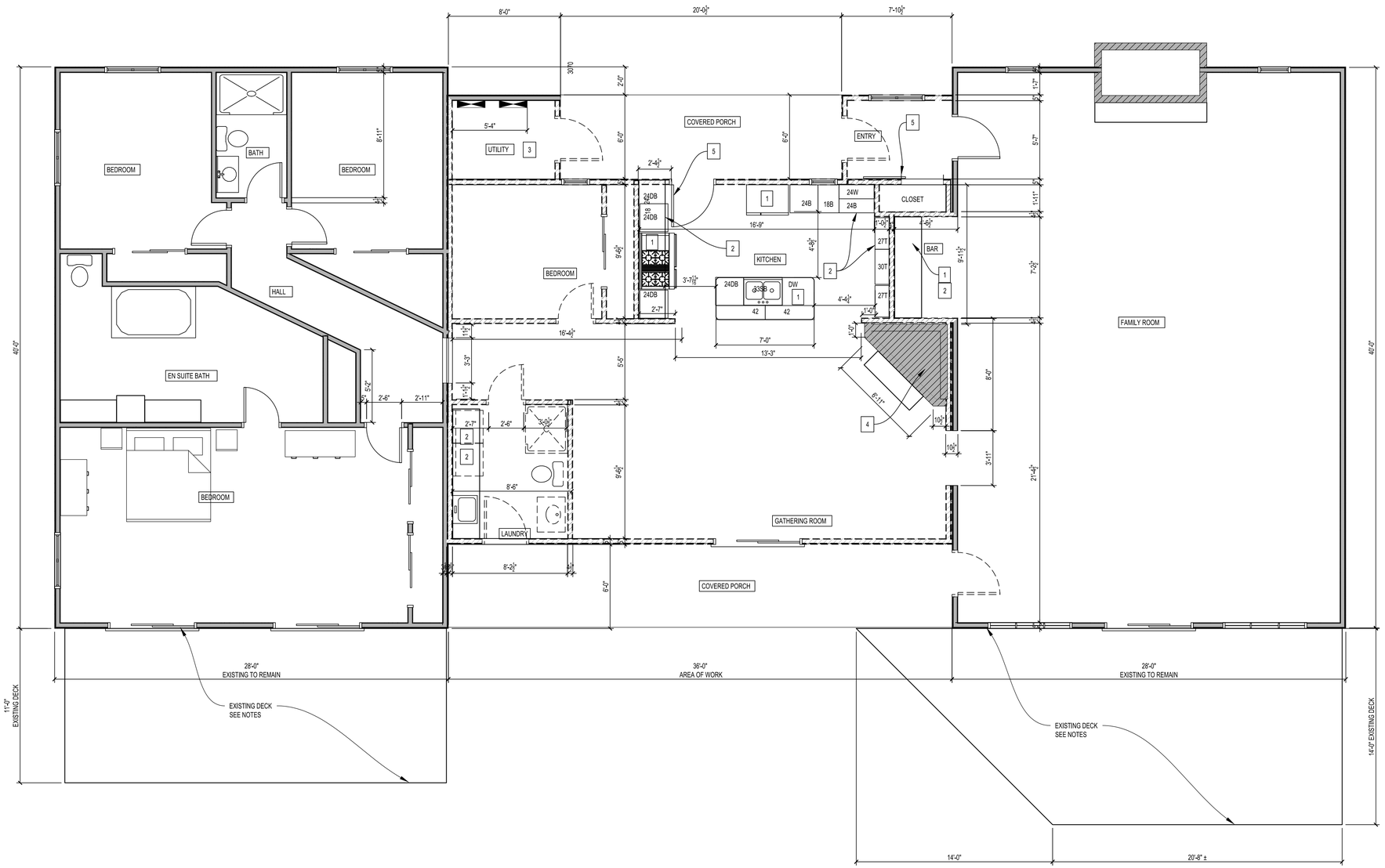
SHEET TITLE:
COVER SHEET

SHEET NO.: C100



LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

DEMOLITION NOTES:

1. Carefully Remove Existing Appliances in the kitchen and the bar area. Save for reinstallation. All appliances to be saved shall be protected.
2. Cabinetry in the kitchen and bar area shall be carefully removed. Save for reinstallation.
3. Area of Existing Electric. Panels, Generator Switch, Electric Water Heater to remain. Maintain temporary waterproof shelter / cover during construction. Maintain / Provide structure as needed.
   Water purification, well pumps to remain in place to be relocated in the room.
4. Existing masonry fireplace to remain. Protect during excavation as needed.
5. Existing Sliding Barn Door. Carefully remove door and hardware. Save for reinstallation.
6. Existing Decks to be reconstructed.

1 / D100 FIRST FLOOR DEMOLITION PLAN

1/4"=1'-0"

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STATE OF MARYLAND · LISA DAVIS HOLMES · 8809 · REGISTERED ARCHITECT

JUNE 20 2024
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DATE:6/20/2024
REVISIONS:
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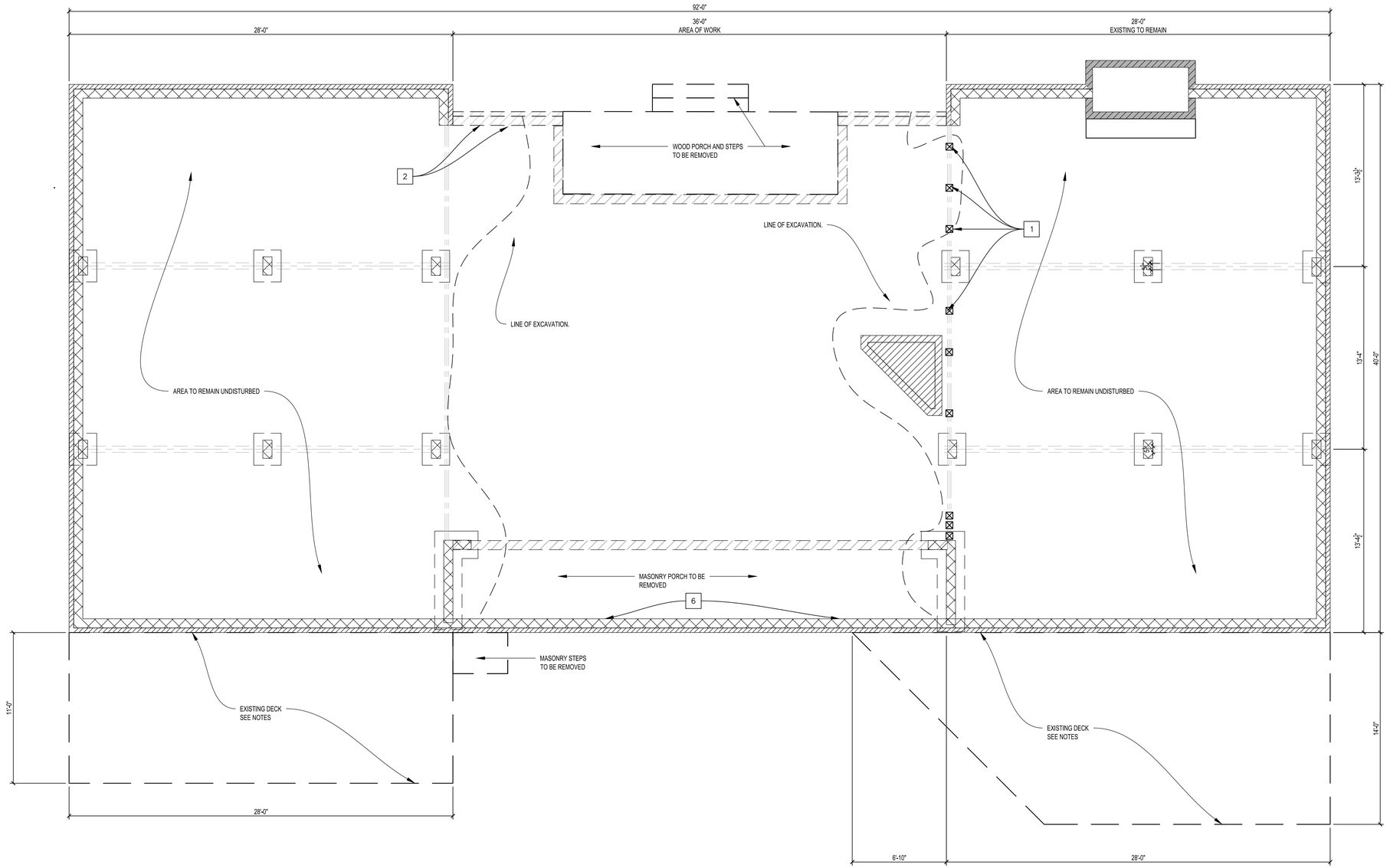
SHEET TITLE:
FIRST FLOOR DEMOLITION

SHEET NO.: D100



LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

DEMOLITION NOTES:

1. Existing Cribbing and temporary beam supports. Location is approximate. Replace per pipe column detail.
2. Area of Existing Electric above. Panels, Generator Switch to remain. Maintain temporary waterproof shelter / cover during construction. Maintain / Provide structure as needed.
3. Piping / Conduit / Electric this area to remain.
4. Existing masonry fireplace to remain. Protect during excavation as needed.
5. Excavate grade to match elevation of adjacent areas to left and right removing approximately 12" of earth.
6. Determine if masonry wall is adequate to support floors above. If not, reconstruct per details.

1 / D101 FOUNDATION DEMOLITION PLAN

1/4"=1'-0"

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STATE OF MARYLAND
LISA DAVIS HOLMES
8809
PROFESSIONAL ENGINEER

JUNE 20, 2024

LISA DAVIS HOLMES
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SUBMISSION:----
DATE:6/20/2024
REVISIONS:
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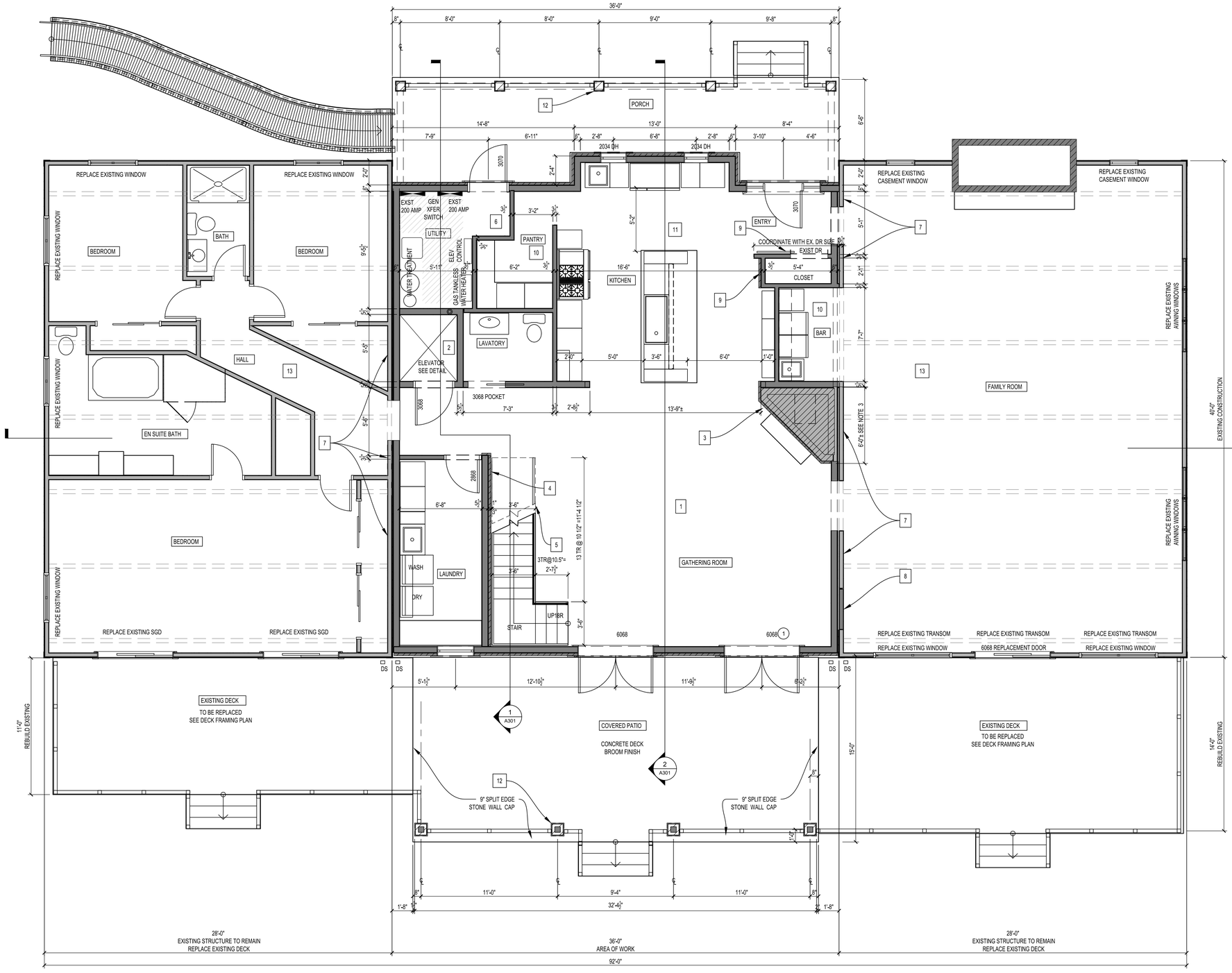
SHEET TITLE:
FOUNDATION DEMOLITION PLAN

SHEET NO.: D101



1 A100 FIRST FLOOR PLAN
1/4"=1'-0"

LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

CONSTRUCTION NOTES:

1. Reconstruct First Floor. See Foundation / Framing Plans.
2. Elevator - See Details.
3. Existing masonry fireplace to remain. Add cultured Stone veneer over existing masonry. Extend chimney to elevation as required.
4. Cultured Stone on framed wall 2 x 6 studs @ 16" o.c. with plywood sheathing. Wall shall be approximately 20 feet 4" high.
5. Stair steel stringers, solid wood treads. See detail.
6. Utility Room. Existing electric panels, generator transfer switch to remain. Reinstall existing well pressure system and water purification. Reinstall propane instant water heater where shown. New elevator control panel. Ensure 36" clearance in front of all electrical equipment.
7. Existing wall to remain.
8. Infill existing door opening where shown.
9. Cultured stone over 2 x 6's @ 16" o.c.
10. Existing sliding barn door to be reinstalled. Coordinate wall length with door travel.
11. See Kitchen Plan for cabinet and appliances.
12. Structural Post with column wrap. See details.
13. No work this area. Existing finishes are protected.

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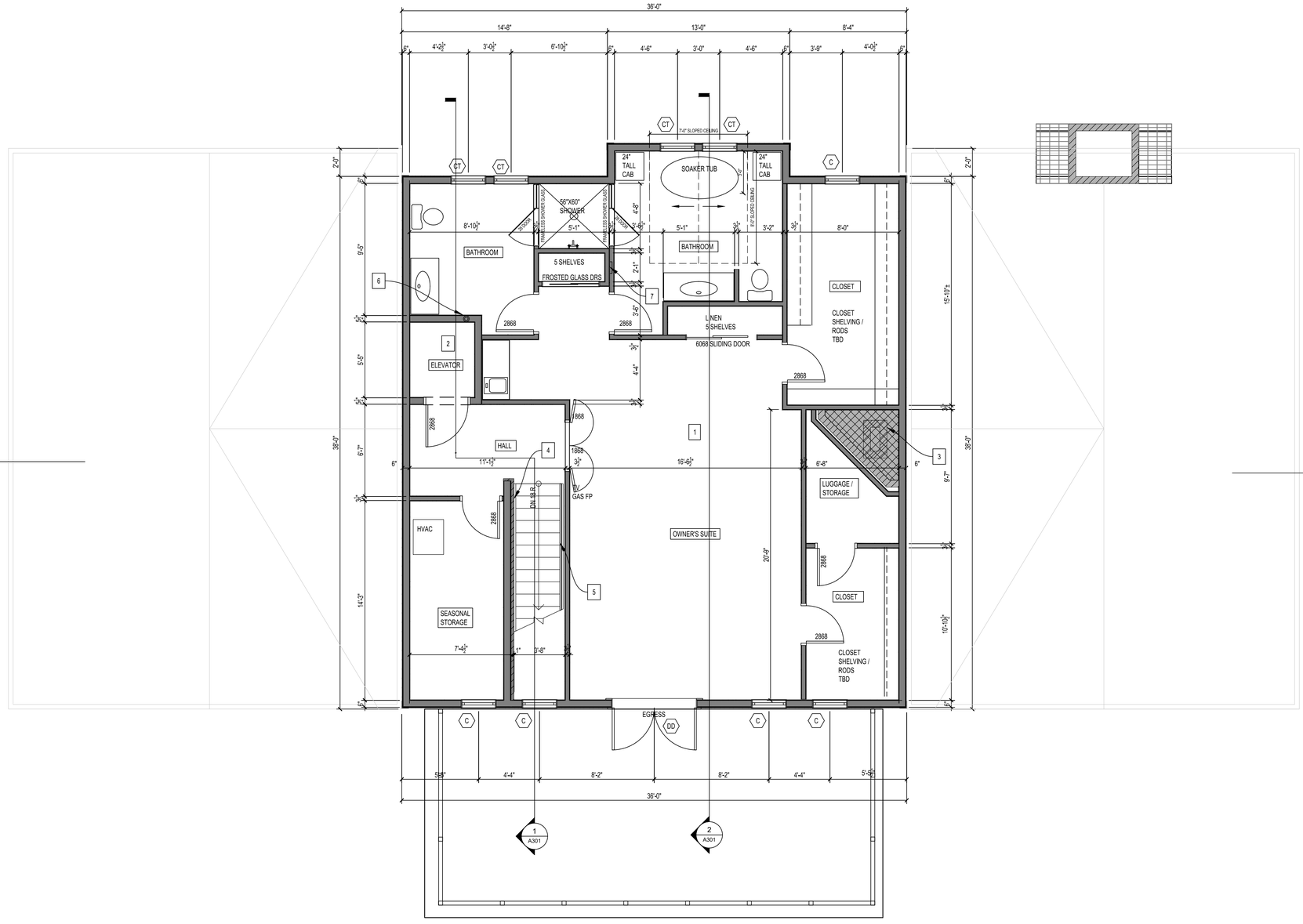
SHEET TITLE:
FIRST FLOOR PLAN

SHEET NO.: A100



LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

CONSTRUCTION NOTES:

1. See Second Floor Framing Plan.
2. Elevator - See Details.
3. Existing masonry fireplace to remain. Add cultured Stone veneer over existing masonry. Extend chimney to elevation as required.
4. Cultured Stone on framed wall 2 x 6 studs @ 16" o.c. with plywood sheathing. Wall shall be approximately 20 feet 4" high.
5. Stair steel stringers, solid wood treads. See detail.
6. Water Heater vent stack.
7. Kitchen Exhaust.

1 & 2 / A300

1 / A101 SECOND FLOOR PLAN
1/4"=1'-0"

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STATE OF MARYLAND
LISA DAVIS HOLMES
8809
ARCHITECT

JUNE 20, 2024
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SUBMISSION:----
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REVISIONS:
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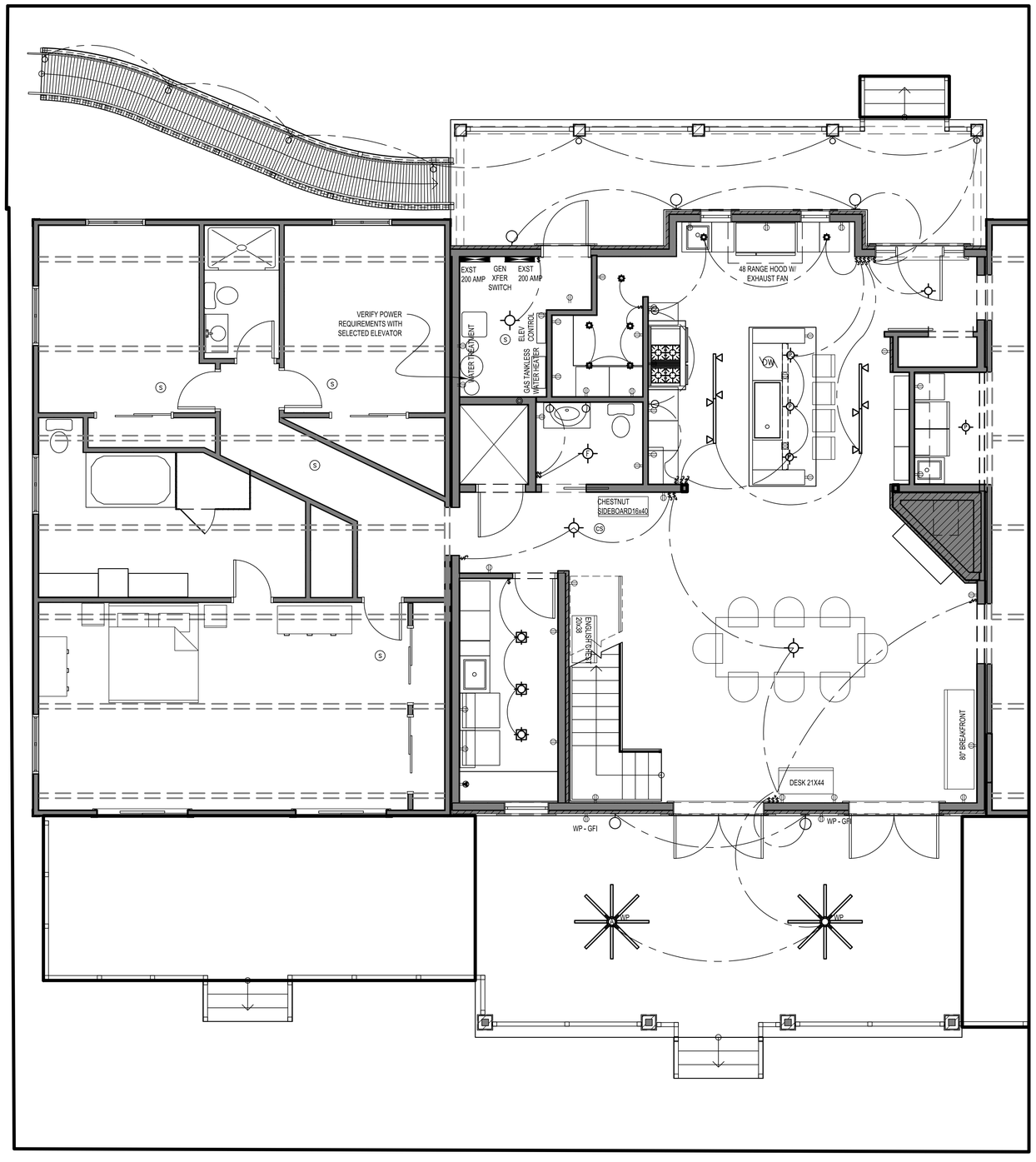
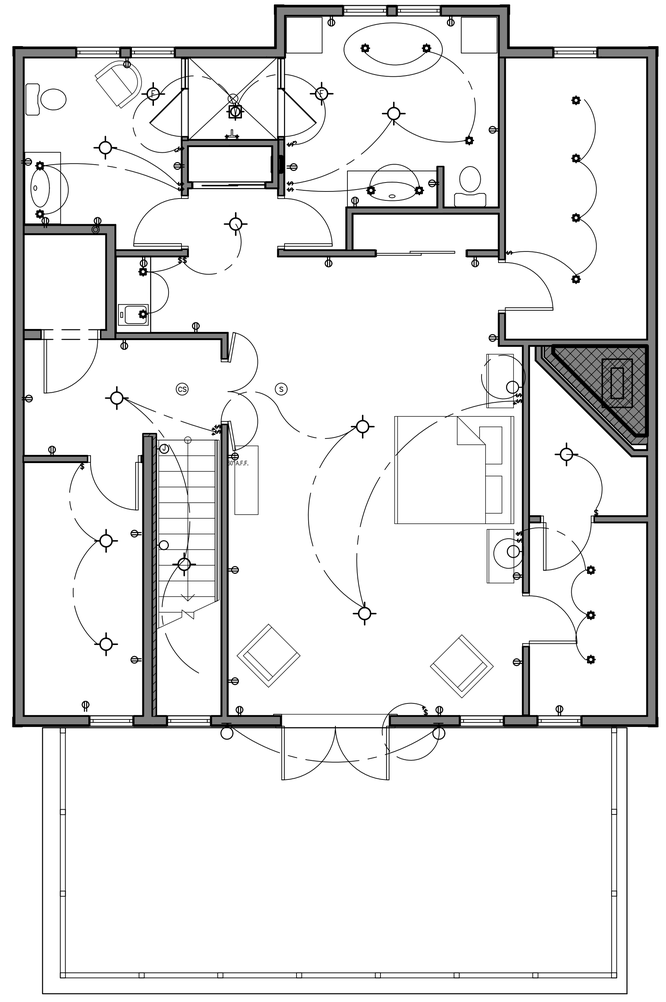
SHEET TITLE:
SECOND FLOOR PLAN

SHEET NO.: A101



1 A106 FIRST FLOOR ELECTRIC PLAN
1/4"=1'-0"



2 A106 SECOND FLOOR ELECTRIC
1/4"=1'-0"

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REVISIONS:
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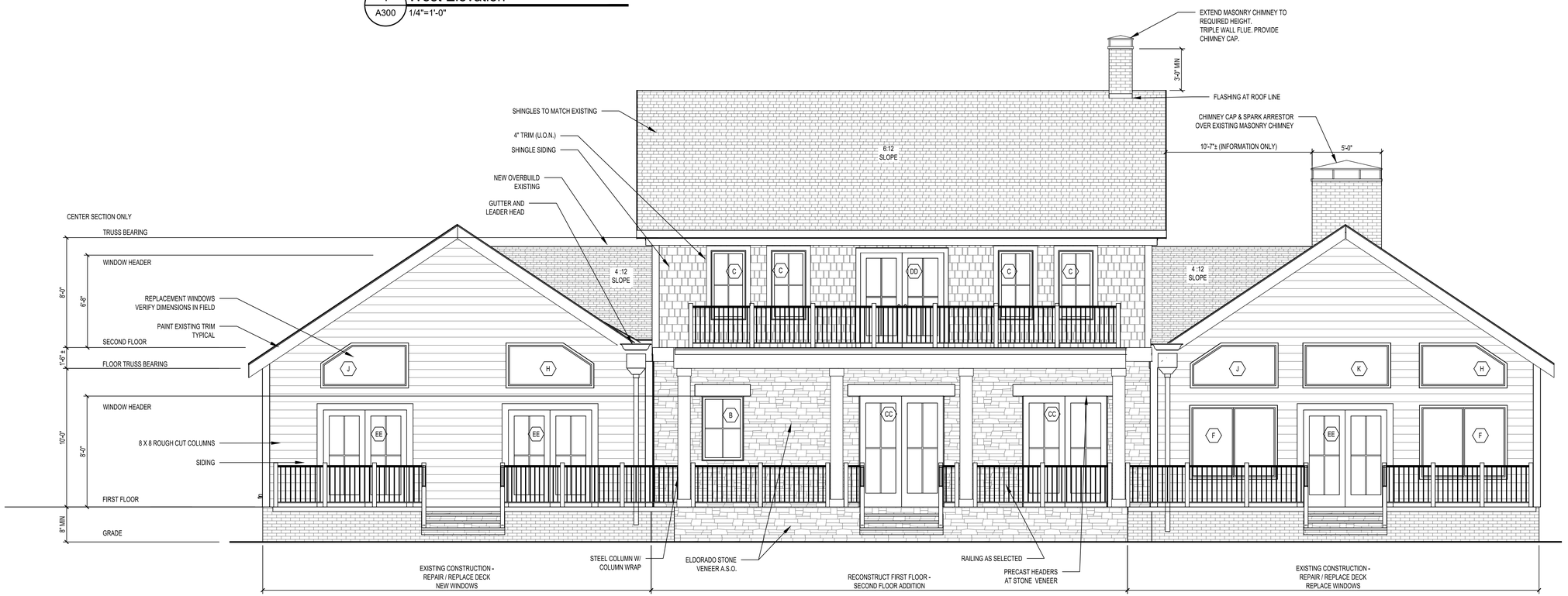
SHEET TITLE:
ELECTRIC PLANS

SHEET NO.: A102

1 / A300 West Elevation

1/4"=1'-0"



2 / A300 East Elevation

1/4"=1'-0"

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JUNE 20, 2024

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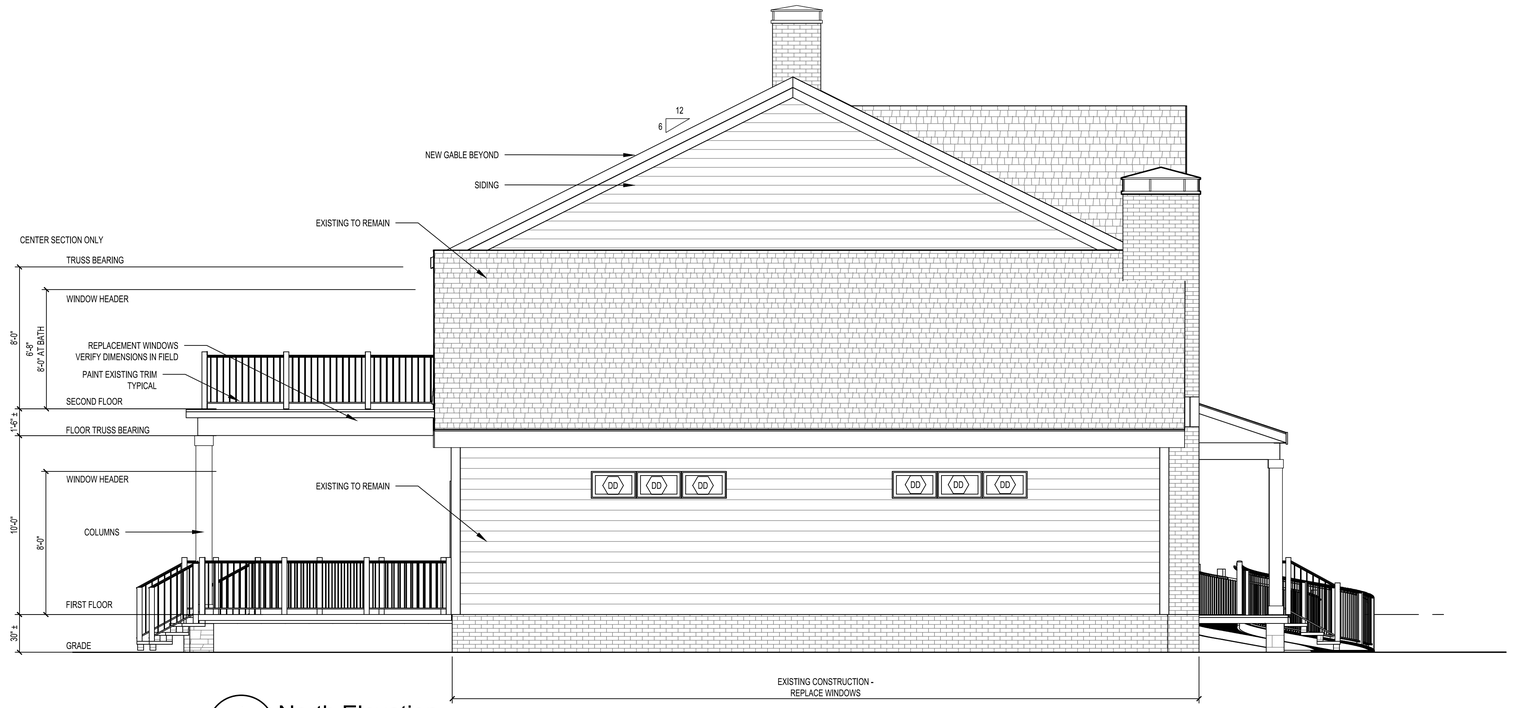
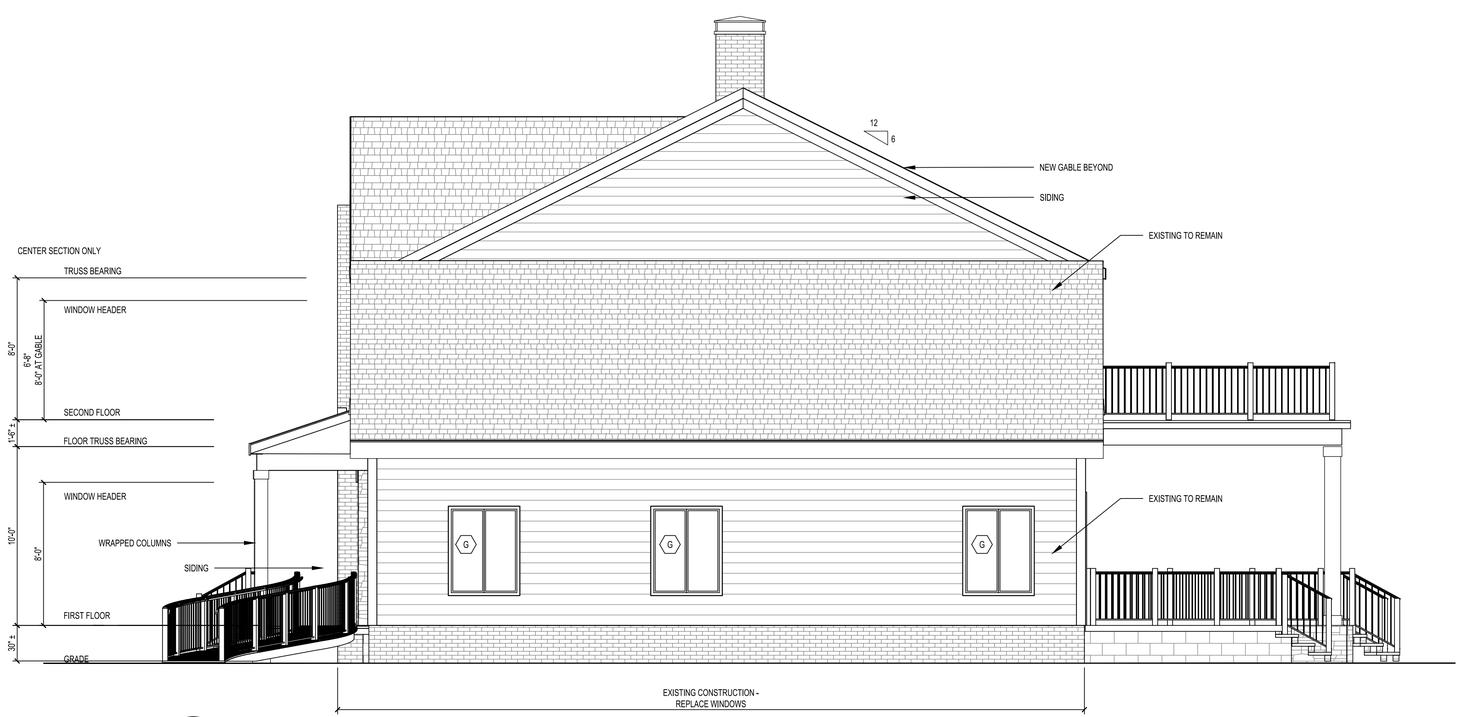
SHEET TITLE:
BUILDING ELEVATIONS

SHEET NO.: A200



1 / A301 North Elevation

1/4"=1'-0"



2 / A301 South Elevation

1/4"=1'-0"

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McCook Residence
9200 Tayloes Neck Road
Nanjemoy, MD 20662

STATE OF MARYLAND
LISA DAVIS HOLMES
8809

JUNE 20, 2024

LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/11/2025

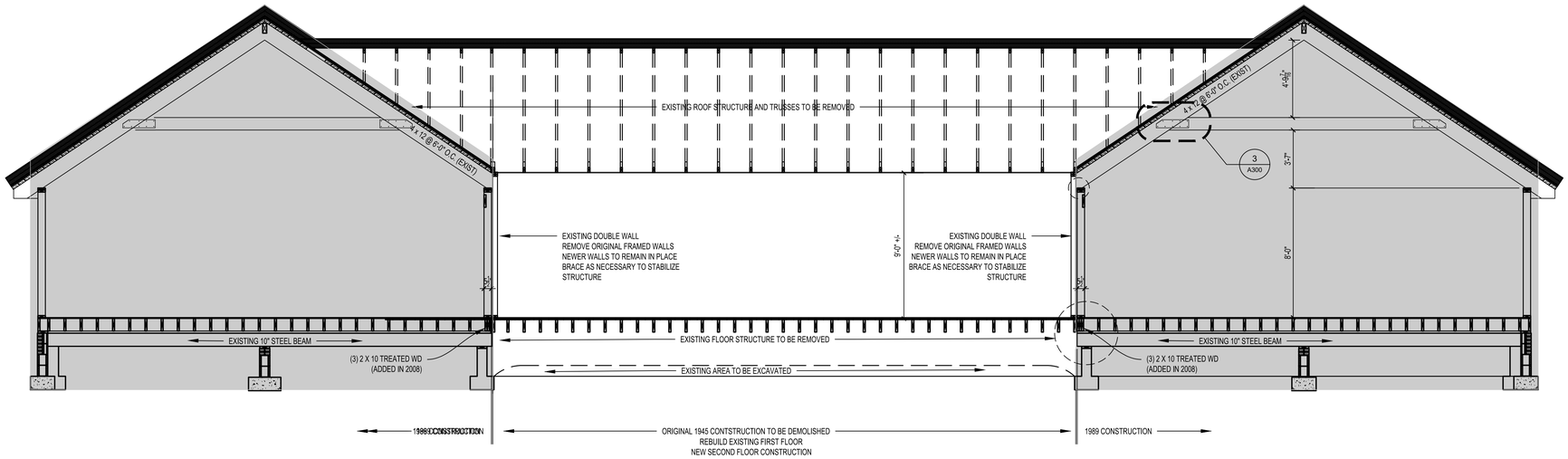
CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

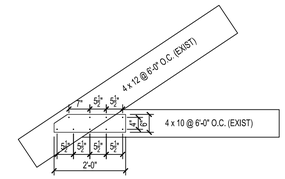
SHEET TITLE:
BUILDING ELEVATIONS

SHEET NO.: A201



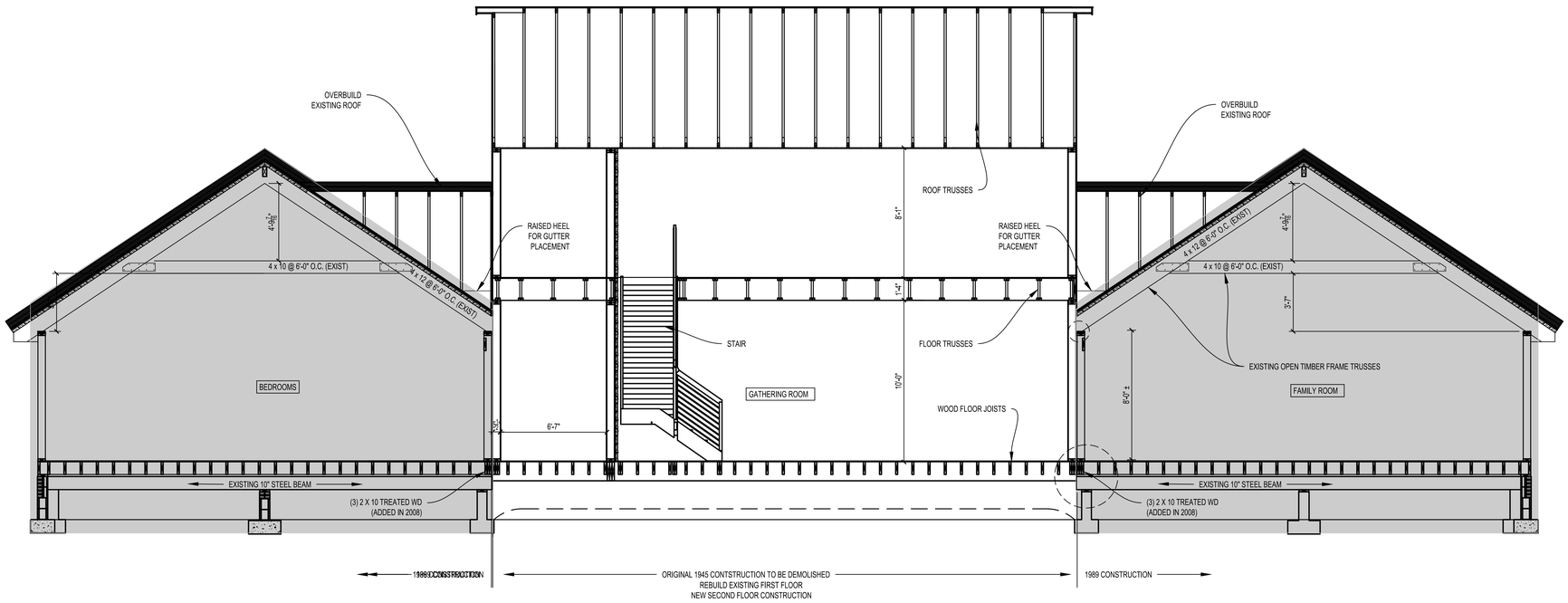
1 / A300 BUILDING SECTION - DEMOLITION

3/4"=1'-0"



2 / A300 EXISTING CONNECTION

INFORMATION ONLY



2 / A300 BUILDING SECTION

3/4"=1'-0"

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STATE OF MARYLAND
LISA DAVIS HOLMES
8809

JUNE 20, 2024

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LICENSE NUMBER 8809
EXP. DATE 11/11/2025

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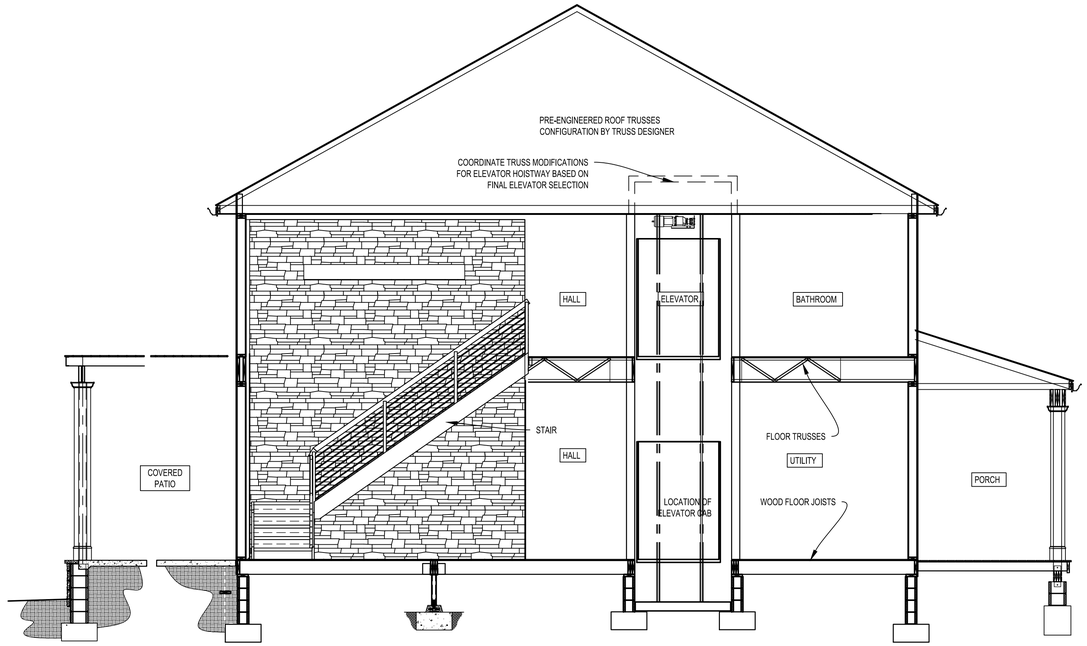
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

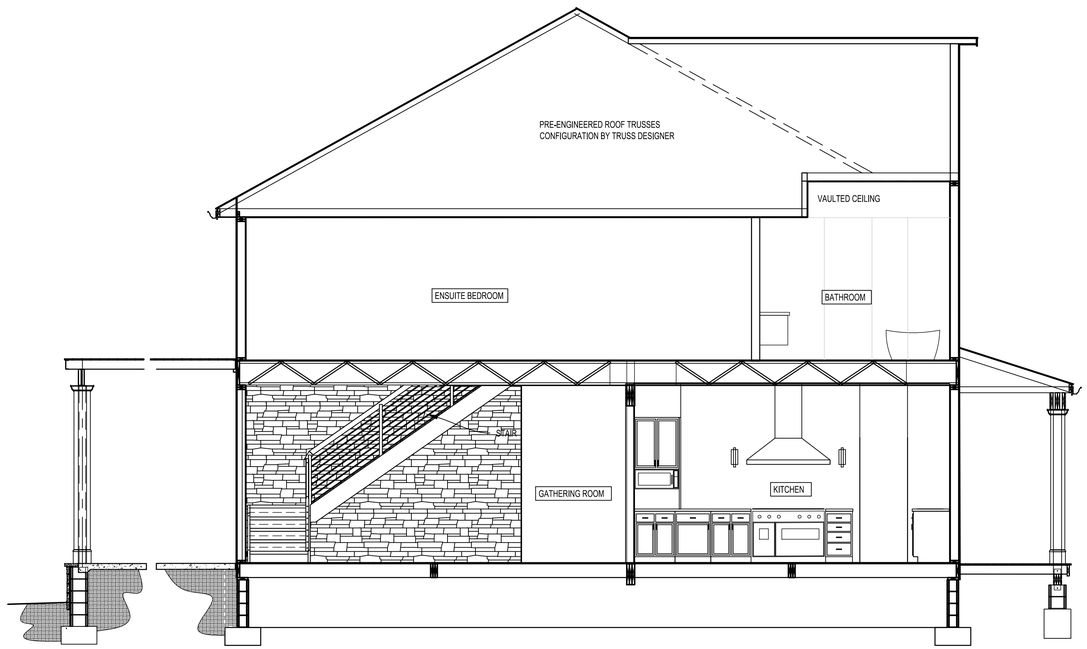
SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.: A300



2 A301 SECTION DETAIL
3/4"=1'-0"



1 A301 SECTION DETAIL
3/4"=1'-0"

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STATE OF MARYLAND
LISA DAVIS HOLMES
8809
PERSONAL REPRESENTATIVE

JUNE 20, 2024
LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/11/2025

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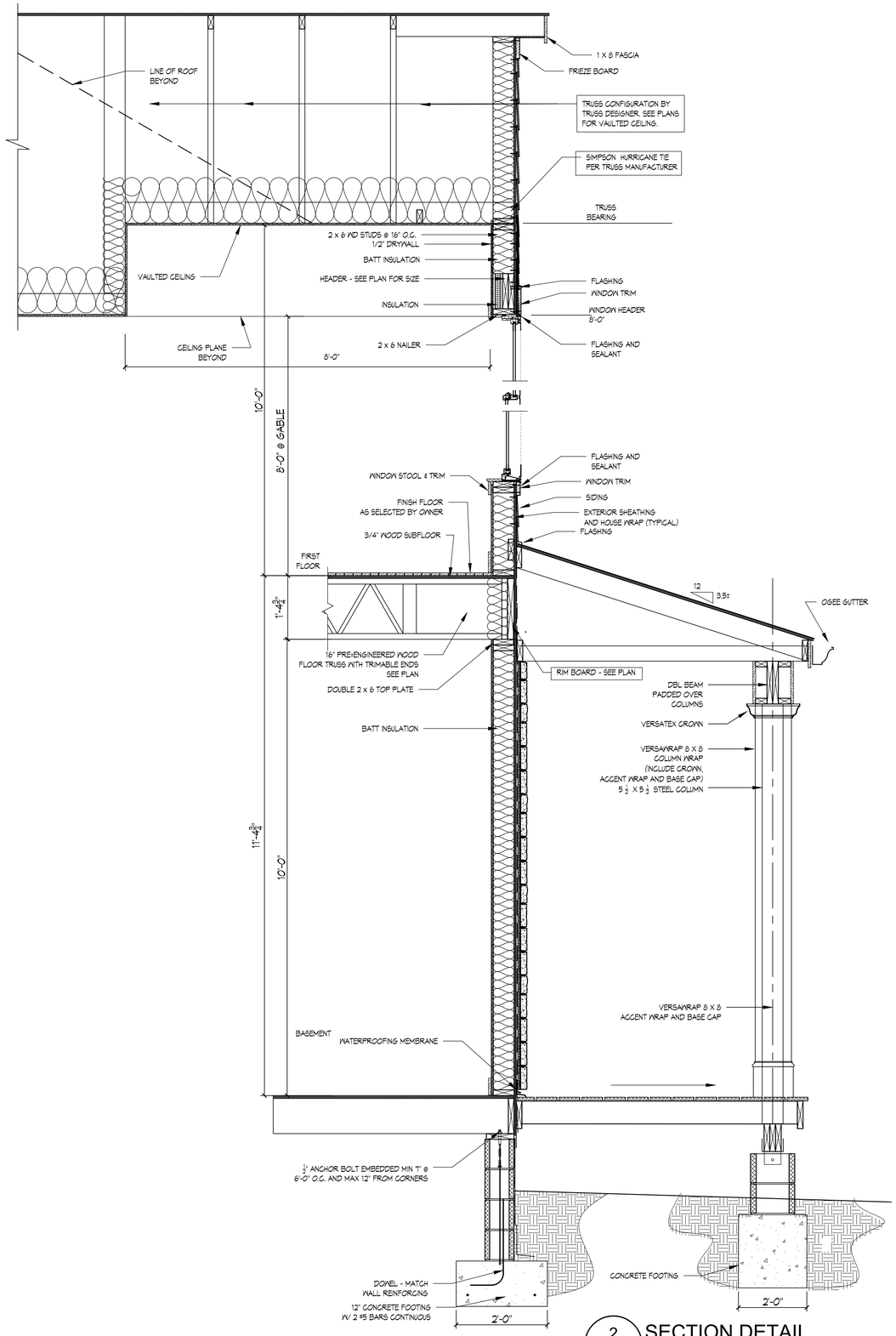
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

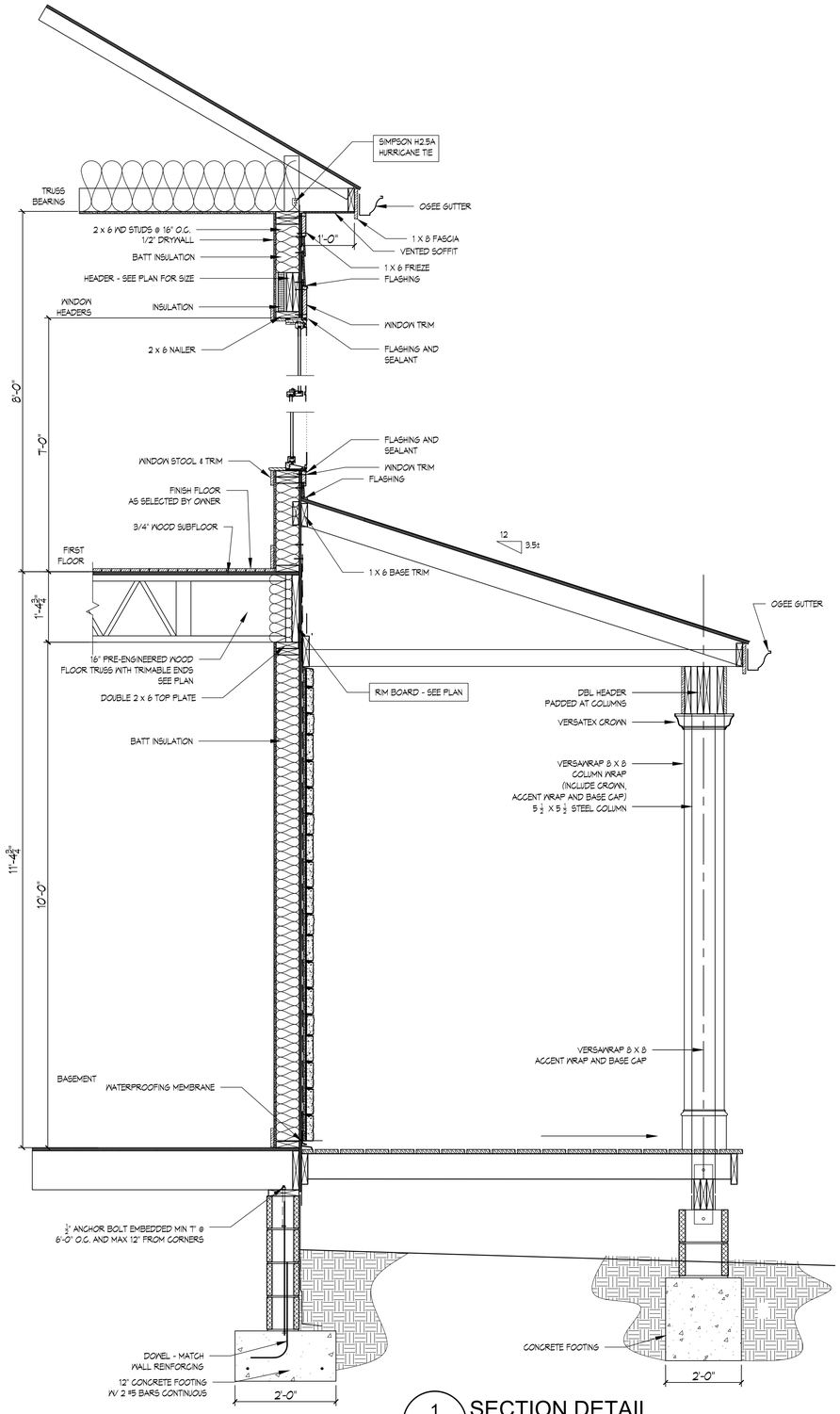
SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.: A301



2 A302 SECTION DETAIL
3/4"=1'-0"



1 A302 SECTION DETAIL
3/4"=1'-0"

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STATE OF MARYLAND
LISA DAVIS HOLMES
REGISTERED ARCHITECT
8809

JUNE 20, 2024

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LICENSE NUMBER 8809
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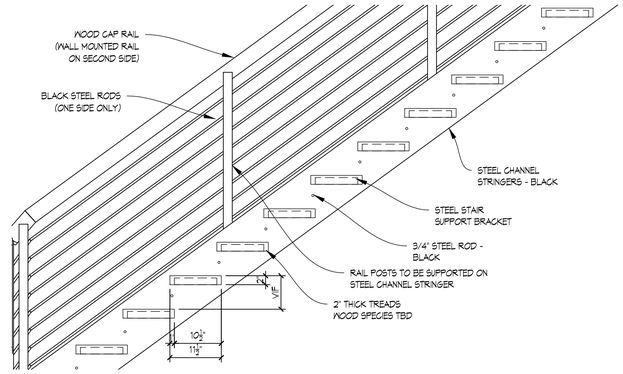
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

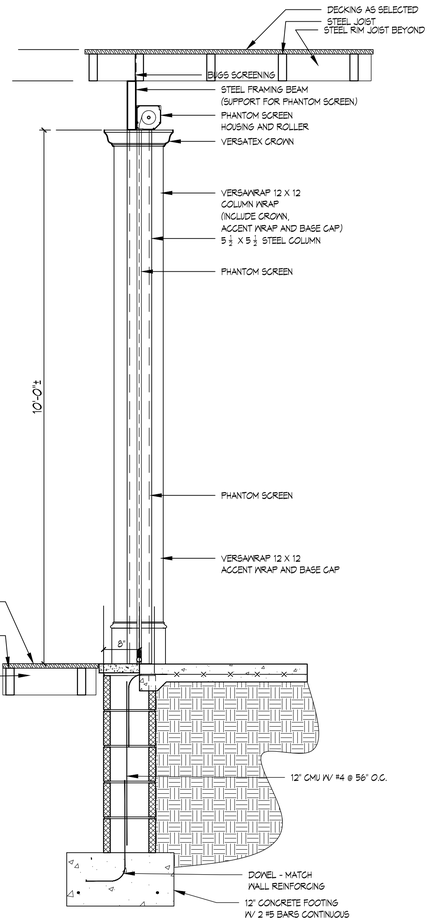
SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

SHEET TITLE:
SECTION DETAILS

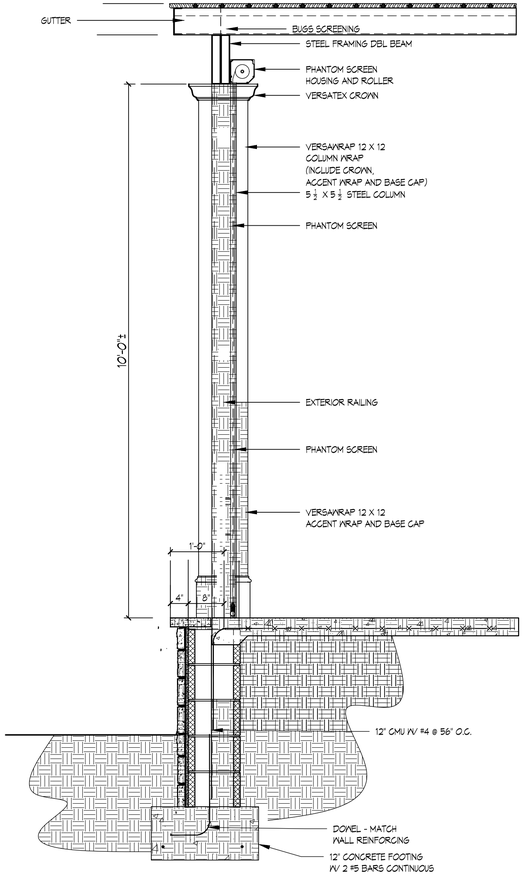
SHEET NO.: A302



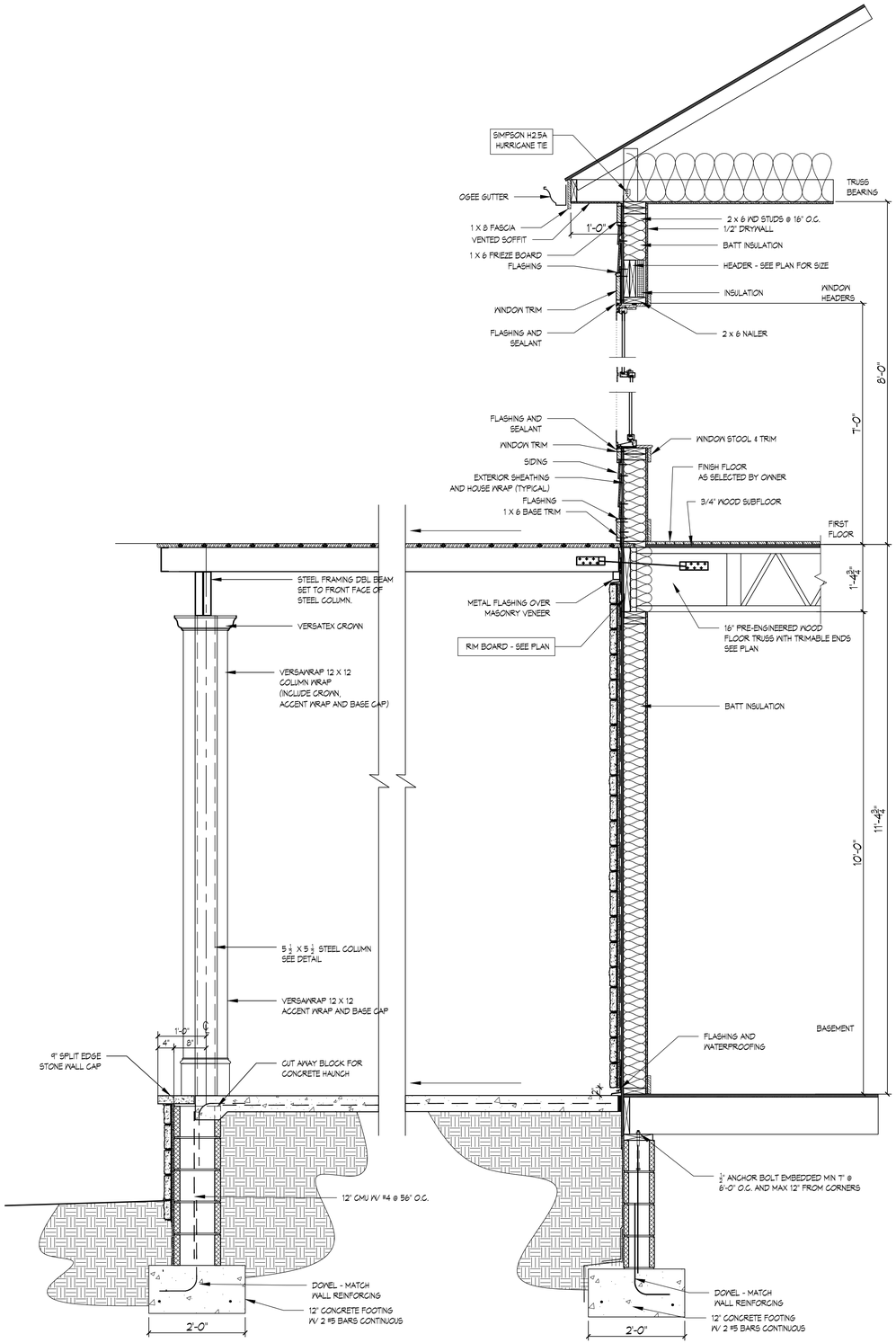
4 / A303 STAIR DETAIL
3/4"=1'-0"



3 / A303 ROLL UP SCREEN DETAIL
3/4"=1'-0"



2 / A303 ROLL UP SCREEN DETAIL
3/4"=1'-0"



1 / A303 SECTION DETAIL
3/4"=1'-0"

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JUNE 20, 2024

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DATE:6/20/2024
REVISIONS:
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SHEET TITLE:
SECTION DETAILS

SHEET NO.: A303

WINDOW SCHEDULE

MARK ⬡	QUANTITY	CONFIGURATION			MUNTINS		MANUFACTURER / SERIES	FRAME COLOR		HARDWARE		GLAZING	REMARKS
		TYPE	SIZE WxH	NEW OR REPLACEMENT	TYPE	CONFIGURATION		INTERIOR	EXTERIOR	STYLE	COLOR		
A	2	CASEMENT	2048	NEW	SDL	2 OVER 2 EQUAL LIGHTS	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		
B	1	CASEMENT	3048	NEW	SDL	2 OVER 2 EQUAL LIGHTS	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		
C	5	CASEMENT	2650	NEW	SDL	2 OVER 2 EQUAL LIGHTS	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		
CT	4	CASEMENT	2650	NEW	SDL	2 OVER 2 EQUAL LIGHTS	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK	TEMPERED	
D	2	CASEMENT	2450 VIF	REPLACEMENT	----	----	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		EXISTING ANDERSEN 400 SERIES. ESTIMATED SIZE CW15
E	6	AWNING	2615 VIF	REPLACEMENT	----	----	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		EXISTING ANDERSEN 400 SERIES. ESTIMATED SIZE AR281
F	2	DOUBLE CASEMENT	6050 VIF	REPLACEMENT	----	----	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		EXISTING ANDERSEN 400 SERIES. ESTIMATED SIZE CXW25
G	5	DOUBLE CASEMENT	4050 VIF	REPLACEMENT	----	----	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		EXISTING ANDERSEN 400 SERIES. ESTIMATED SIZE C25
H	2	PICTURE - CUSTOM RIGHT	VIF	REPLACEMENT									
J	2	PICTURE - CUSTOM LEFT	VIF	REPLACEMENT									
K	1	PICTURE - CUSTOM	VIF	REPLACEMENT	----	----	ANDERSEN 100 - FIBREX FRAME	BLACK	BLACK		BLACK		EXISTING ANDERSEN 400 SERIES. ESTIMATED SIZE C25

NOTES:
1. PROVIDE ADD ALTERNATE FOR SHADED ITEMS.
2. SDL - SIMULATED DIVIDED LIGHTS TO BE 3/4" WIDE APPLIED INTERIOR AND EXTERIOR
3. VIF - VERIFY DIMENSIONS AND CONDITIONS IN FIELD

DOOR SCHEDULE

MARK ⬡	QUANTITY	CONFIGURATION				MUNTINS		MANUFACTURER / SERIES	FRAME COLOR		HARDWARE		GLAZING
		TYPE	NOMINAL SIZE WxH	MODEL	NEW OR REPLACEMENT	TYPE	CONFIGURATION		INTERIOR	EXTERIOR	STYLE	COLOR	
AA	1	SINGLE ENTRY / 2 SIDELIGHTS	6080	AESLD1080 AEHID3080 AESLD1080	NEW	SDL PERMANENT	2 OVER 2 EQUAL LIGHTS	ANDERSEN ENTRY DOOR PANEL STYLE 181 /183 STRAIGHTLINE GLASS	BLACK	BLACK	YALE ASSURE	BLACK	LOW E4 INSULATED GLASS
BB	1	SOLID PANEL	3080		NEW	NA	NA	ANDERSEN ENTRY DOOR PANEL STYLE 180 NO GLASS	BLACK	BLACK	BLACK	BLACK	N/A
CC	2	OUTSWING ENTRY DOORS	6080	AEOD6080	NEW	SDL PERMANENT	2 OVER 2 EQUAL LIGHTS	ANDERSEN ENTRY DOOR PANEL STYLE 181 /183 STRAIGHTLINE GLASS	BLACK	BLACK	FSB 1076	BLACK	LOW E4 INSULATED GLASS
DD	1	OUTSWING HINGED PATIO DOORS	6070	60611 APLR	NEW	SDL PERMANENT	2 OVER 2 EQUAL LIGHTS	ANDERSEN A-SERIES TRADITIONAL PROFILE	BLACK	BLACK	FSB 1076	BLACK	LOW E4 INSULATED GLASS BLINDS BETWEEN THE GLASS (BLACK)
EE	3	SLIDING GLASS	6068 VIF		REPLACEMENT	----	----	ANDERSEN PANEL STYLE 181 STRAIGHTLINE GLASS	BLACK	BLACK		BLACK	

NOTES:
1. ALL DOORS SHALL HAVE ADA SILLS.
2. SDL - SIMULATED DIVIDED LIGHTS TO BE 3/4" WIDE APPLIED INTERIOR AND EXTERIOR
3. PROVIDE ADD ALTERNATE FOR SHADED ITEMS.

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STATE OF MARYLAND
LISA DAVIS HOLMES
8809
JUNE 20, 2024
LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/11/2025

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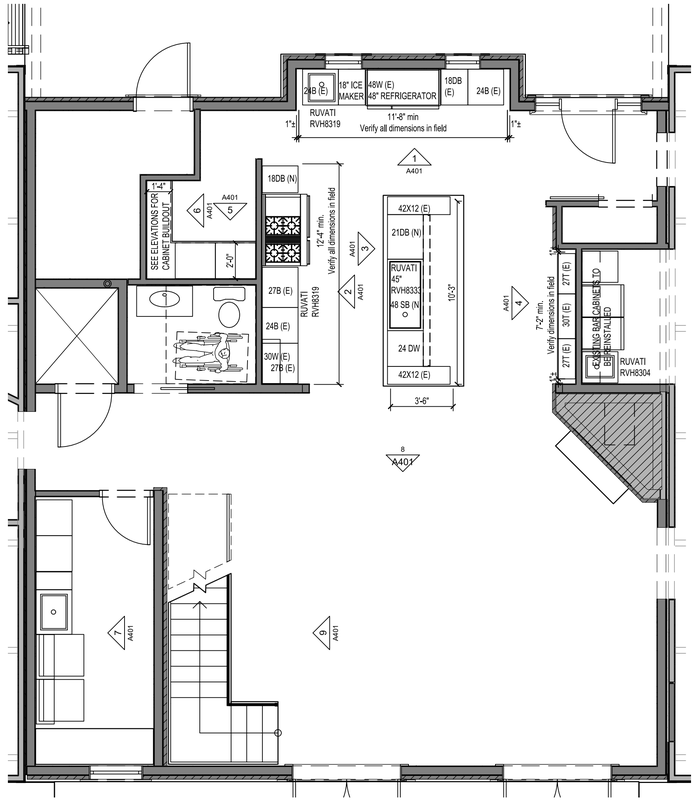
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

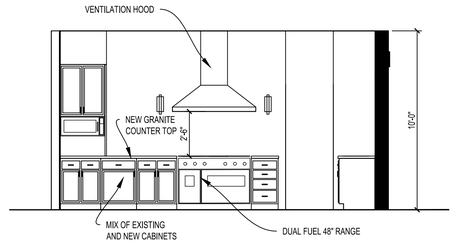
SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

SHEET TITLE:
DOOR AND WINDOW SCHEDULES

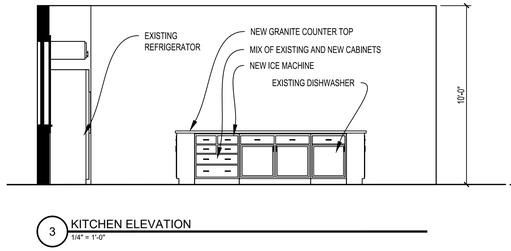
SHEET NO.: A400



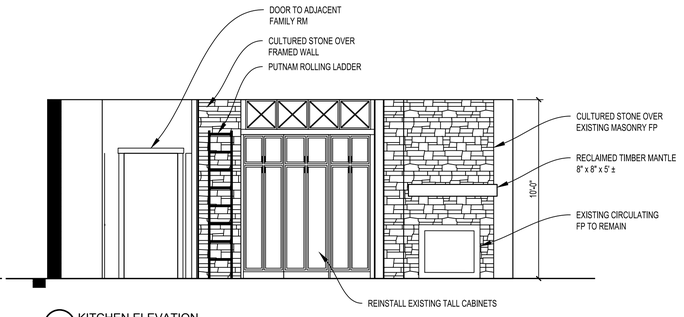
1 KITCHEN ELEVATION
1/4" = 1'-0"



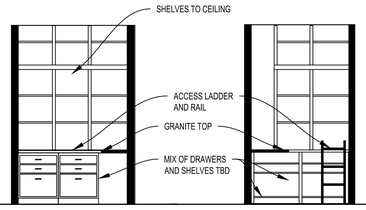
2 KITCHEN ELEVATION
1/4" = 1'-0"



3 KITCHEN ELEVATION
1/4" = 1'-0"

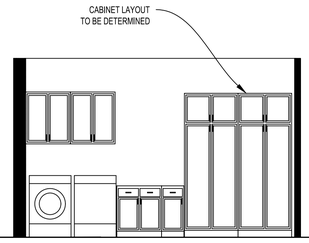


4 KITCHEN ELEVATION
1/4" = 1'-0"

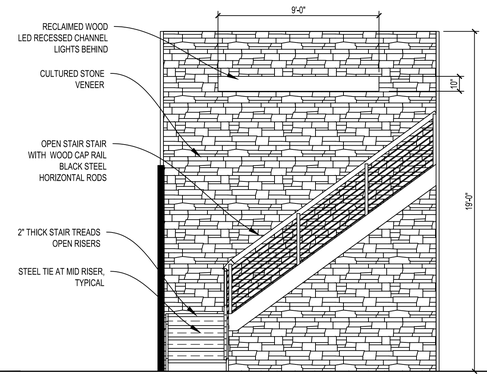


5 PANTRY
1/4" = 1'-0"

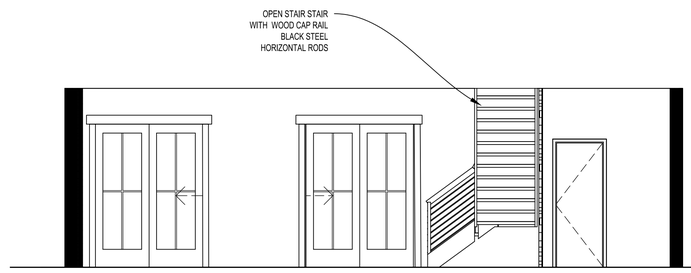
6 PANTRY
1/4" = 1'-0"



7 LAUNDRY
1/4" = 1'-0"



8 STAIR ELEVATION
1/4" = 1'-0"



9 WATERFRONT INTERIOR ELEVATION
1/4" = 1'-0"

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Nanjemoy, MD 20662

STATE OF MARYLAND
LISA DAVIS HOLMES
8809
PROFESSIONAL ENGINEER

JUNE 20, 2024
LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/11/2025

CERTIFICATION:
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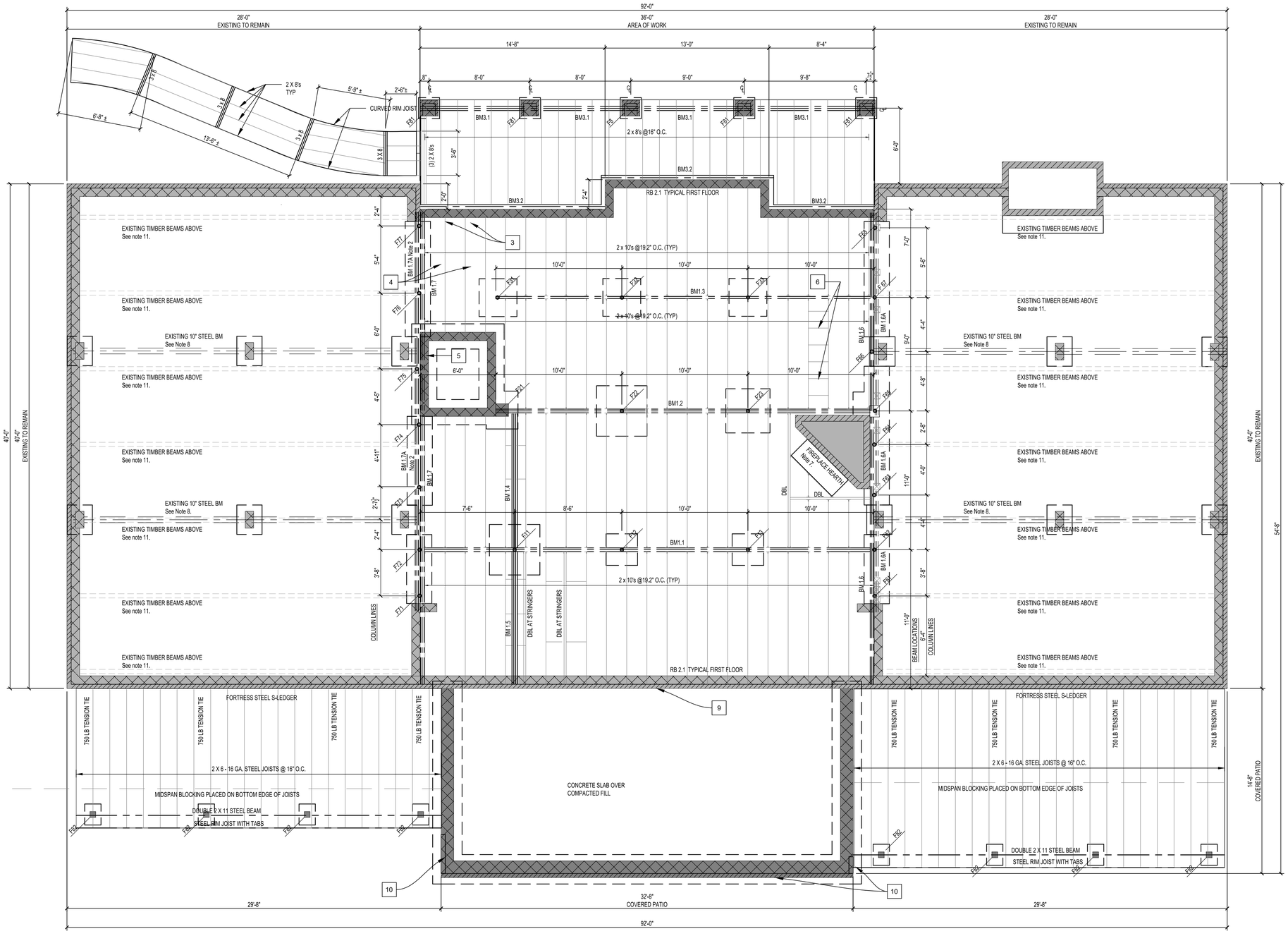
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

SUBMISSION:----
DATE:6/20/2024
REVISIONS:
---- ----

SHEET TITLE:
INTERIOR DETAILS

SHEET NO.: A401



1 FOUNDATION AND FRAMING PLAN

S101 1/4"=1'-0"

LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

NOTES:

1. Existing Beam (3-2x10's replaced in 2010) to remain. Replace Cribbing with Adjustable Base Pipe Columns on continuous footing. Additional columns to be spaced maximum of 5'-0" o.c. for length of wall. See detail.
2. Inspect Existing Beams and replace as needed. Assume (3) 2x10's Treated SP No. 2. New Adjustable Base Pipe Columns on continuous footing to be spaced maximum of 5'-0" o.c. for length of wall. See detail.
3. Area of Existing Electric above. Panels, Generator Switch to remain. Maintain temporary waterproof shelter / cover during construction.
4. Piping / Conduit / Electric this area.
5. Elevator Foundation. Design basis Savaria Eclipse Type 1L. Verify dimensions with selected unit.
6. Blocking @ 16" o.c. at braced wall panel.
7. Hearth shall be flush with finished floor. Exisitng Condition /Extension is unknown. Modify framing as needed.
8. Existing Steel Beams. Paint with Ospho Rust Converter.
9. Inspect existing foundation wall. If sound, wall may be used to support new construction. Add #4's at 48" o.c. if none present.
10. Dimensions are to CMU. Stone to be applied to visible foundation and to wrap corners where visible.
11. Existing Timber Roof Beam locations are shown. New columns at the marriage wall are located to carry the transferred loads to the extent possible. NOTIFY THE ARCHITECT IF ADJUSTMENTS TO DIMENSIONS ARE NECESSARY DUE TO FIELD CONDITIONS.

FLOOR FRAMING:

1. INTERIOR FLOOR JOISTS SHALL BE SPF #2 UNLESS OTHERWISE NOTED. SIZE SHALL BE AS INDICATED ON PLANS.
2. JOISTS SHALL BE SUPPORTED USING JOIST HANGERS.
3. SUBFLOOR SHALL BE AVANTECH 23/32" FLOOR GLUED AND NAILED TO FLOOR TRUSSES.
4. WEB STIFFENERS ARE REQUIRED AT END PANELS.

FRONT PORCH FRAMING:
PORCH FRAMING SHALL BE DOUGLAS FIR IN SIZE AS INDICATED ON PLANS.

DECK FRAMING:

5. DECK FRAMING TO BE FORTRESS FRAMING. LEDGER, POSTS, JOISTS, BEAMS, ACCESSORIES AND ALL COMPONENTS BY ONE MANUFACTURER SUPPLIED IN BLACK FINISH.
6. DECKING SHALL BE GROOVED SYNTHETIC DECK BOARDS AS SELECTED BY OWNER.
7. GROOVE SPLINE SHALL BE IN PROFILE TO MATCH DECKING AND AS MANUFACTURED BY DEXERDRY.
8. DECKING SHALL BE "PICTURE FRAMED."

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STATE OF MARYLAND
LISA DAVIS HOLMES
2009

JUNE 20, 2024

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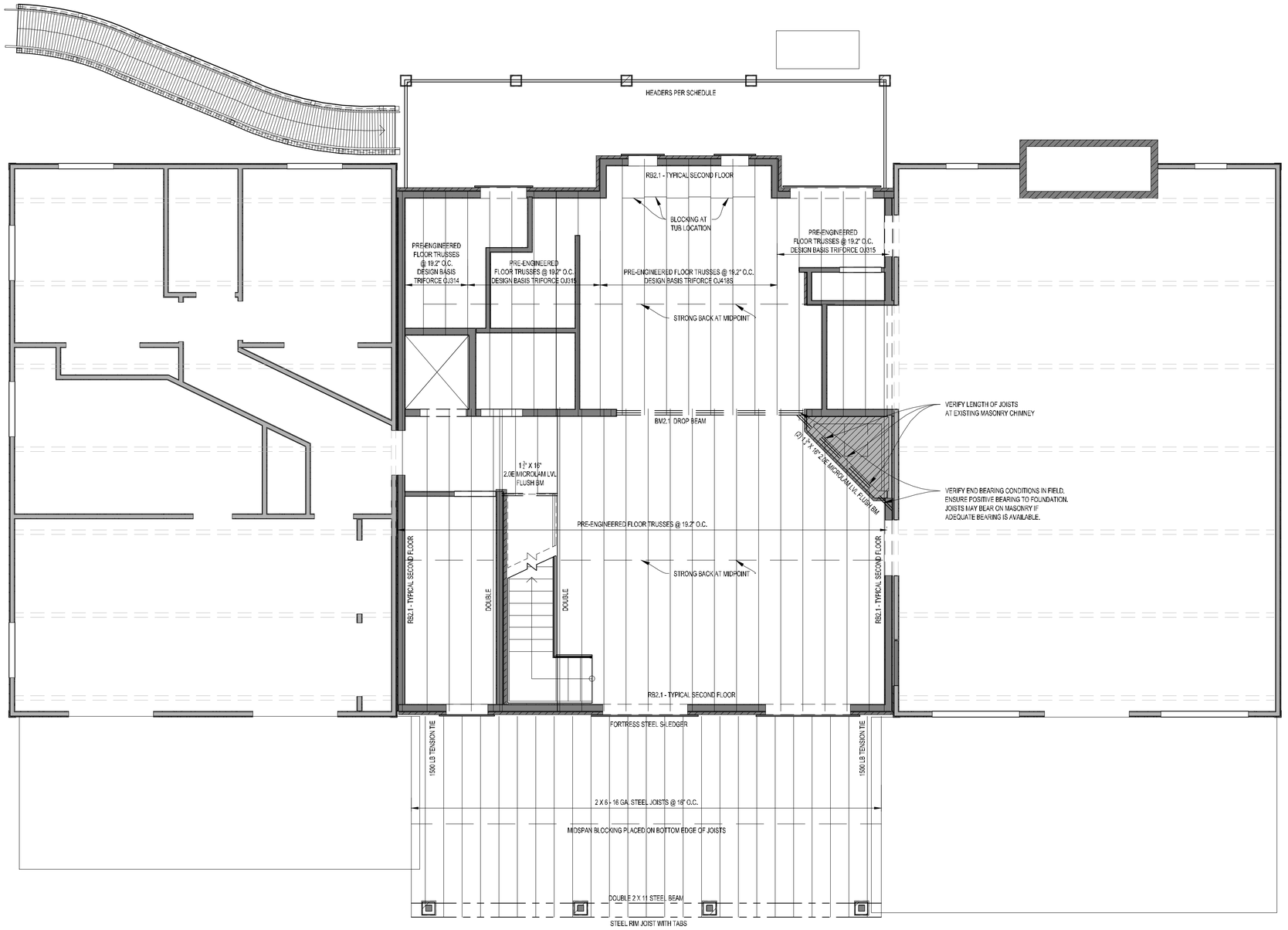
SHEET TITLE:
FOUNDATION AND FIRST FLOOR FRAMING PLAN

SHEET NO.: S100



LEGEND

- NEW FRAME WALL
- NEW CMU WALL
- NEW STONE MASONRY WALL
- EXISTING FRAME WALL TO REMAIN
- EXISTING BRICK MASONRY WALL REMAIN
- EXISTING WALL TO BE REMOVED

FLOOR FRAMING:

1. FLOOR TRUSSES TO BE TRIFORCE 16" TRUSSES WITH TRIMMABLE ENDS OR EQUAL.
2. LIVE LOAD DEFLECTION SHALL BE LIMITED TO L/480 WITH TOTAL LOAD DEFLECTION OF L/240.
3. PROVIDE STRONGBACK @ MID POINT.
4. SUBFLOOR SHALL BE GLUED AND SCREWED TO FLOOR TRUSSES.
5. WEB STIFFENERS ARE REQUIRED AT END PANELS.

DECK FRAMING:

6. DECK FRAMING TO BE FORTRESS FRAMING. LEDGER, POSTS, JOISTS, BEAMS, ACCESSORIES AND ALL COMPONENTS BY ONE MANUFACTURER SUPPLIED IN BLACK FINISH.
7. DECKING SHALL BE GROOVED SYNTHETIC DECK BOARDS AS SELECTED BY OWNER.
8. GROOVE SPLINE SHALL BE IN PROFILE TO MATCH DECKING AND AS MANUFACTURED BY DEXERDRY.
9. DECKING SHALL BE "PICTURE FRAMED."

1 / S102 SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

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REVISIONS:
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SHEET TITLE:
SECOND FLOOR FRAMING PLAN

SHEET NO.: S101

FOOTING SCHEDULE

MARK	Footing Size in Inches	Reinforcing	Steel Adjustable column*	Simpson Strongtie Column Cap / beam seat **	Gauge	NOTES
F11	48X48	4#5	3 1/2 OD SCHEDULE 40	CCCOQ6-7.13SDS2.5 - H1=7, H2=7, H3=7, W1=5.5, W2 No Straps, W3-7.125, W4= 7.125	7ga.(3/16")	
F12	30x30	3#5	3 1/2 OD SCHEDULE 40	CCOQ6-SDS2.5 - H1=7, W1=5.5, W2 No Straps	7ga.(3/16")	
F13	30x30	3#5	3 1/2 OD SCHEDULE 40	CCOQ6-SDS2.5 - H1=7, W1=5.5, W2 No Straps	7ga.(3/16")	
F21	36X36	4#5	FULLY GROUTED CMU	ECC6QM-SDS2.5 - H1=7, W1=5.5, SSTB Anchor Bolts	7ga.(3/16")	
F22	48X48	4#5	3 1/2 OD SCHEDULE 40	CCOQ6-SDS2.5 - H1=7, W1=5.5, W2 No Straps	7ga.(3/16")	
F23	42X42	4#5	3 1/2 OD SCHEDULE 40	CCOQ6-SDS2.5 - H1=7, W1=5.5, W2 No Straps	7ga.(3/16")	
F31	18X18	2#5	3 1/2 OD SCHEDULE 40	CCOQ4-SDS2.5 - H1=7, W1=3.625, W2 No Straps	7ga.(3/16")	
F32	36X36	4#5	3 1/2 OD SCHEDULE 40	CCOQ4-SDS2.5 - H1=7, W1=3.625, W2 No Straps	7ga.(3/16")	
F33	36X36	4#5	3 1/2 OD SCHEDULE 40	CCOQ4-SDS2.5 - H1=7, W1=3.625, W2 No Straps	7ga.(3/16")	
F61	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F62	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCTOQX - H1=7, H2=7, W1=10.5 VIF, W2 No Straps, W3=3.5	3ga.(1/4")	
F63	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F64	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F65	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCTOQX - H1=7, H2=11.5, W1=10.5 VIF, W2 No Straps, W3=5.5	3ga.(1/4")	Different depth beams, flush to top
F66	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCO4.62 - H1=7, W1=4.5, W2 No Straps	3ga.(1/4")	
F67	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCTOX - H1=7, H2=7, W1=10.5 VIF, W2 No Straps, W3=3.5	3ga.(1/4")	
F68	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F71	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F72	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40		3ga.(1/4")	
F73	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQ4.6 - H1=7, W1=4.5, W2 No Straps	3ga.(1/4")	
F74	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F75	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQ4.6 - H1=7, W1=4.5, W2 No Straps	3ga.(1/4")	
F76	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F77	24" CONTINUOUS	2#5 CONT	3 1/2 OD SCHEDULE 40	CCOQX - H1=7, W1=10.5 VIF, W2 No Straps	3ga.(1/4")	
F81	24 x 24		12 x 12 FULLY GROUTED CMU			CULTURED STONE VENEER ON VISIBLE
F82	20 x 20		3 1/2 STEEL FORTRESS COLUMN			

* Design Basis is adjustable steel column by Marshall Stamping Company.
** Column Caps are designed to be welded to adjustable steel columns. Order without straps, without coating.
***Column caps shall have holes for 3/4" structural bolts or SDS Quick Drive Connector Screws as indicated.

BEAM SCHEDULE

MARK	DESIGNED MEMBER	LOCATION	ADDITIONAL BRACING
BM1.1	(3) 1 3/4 x 9 1/4 - 2.0E Microlam LVL	FIRST FLOOR	
BM1.2	(3) 1 3/4 x 14 - 2.0E Microlam LVL	FIRST FLOOR	
BM1.3	(3) 1 3/4 x 9 1/4 - 2.0E Microlam LVL	FIRST FLOOR	
BM1.4	(4) 1 3/4 x 9 1/4 - 2.0E Microlam LVL	FIRST FLOOR	3`-0" O.C.
BM1.5	(4) 1 3/4 x 9 1/4 - 2.0E Microlam LVL	FIRST FLOOR	3`-0" O.C.
BM1.6	(3) 2 x 10's SP #2 PRESERVATIVELY TREATED	FIRST FLOOR	7`-0" O.C.
BM1.6A	**EXISTING** (3) 2 x 10's SP #2 PRESERVATIVELY TREATED	FIRST FLOOR	
BM1.7	(3) 2 x 10's SP #2 PRESERVATIVELY TREATED	FIRST FLOOR	7`-0" O.C.
BM1.7A	(3) 2 x 10's SP #2 PRESERVATIVELY TREATED	FIRST FLOOR	
BM2.1	(1) 5 1/4 x 16 2.0E PARALLAM PSL PROVIDE ALTERNATE FOR GLULAM	SECOND FLOOR	
BM3.1	(3) 2 X 10 DOUGLAS FIR	FRONT PORCH	
BM3.2	2 X 10 DOUGLAS FIR LEDGER	FRONT PORCH	1/2" bolts @ 24" staggered

RIM BOARDS

MARK	DESIGNED MEMBER	LOCATION	ADDITIONAL BRACING
RB1.1	1 3/4 x 9 1/4 - 2.0E Microlam LVL	FIRST FLOOR	
RB2.1	1 3/4 x 16 - 2.0E Microlam LVL	SECOND FLOOR	WEB STIFFENERS AT FLOOR TRUSSES

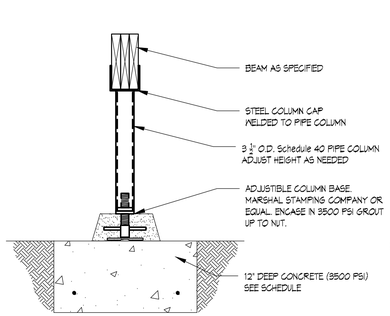
HEADER SCHEDULE

LOCATION	MAXIMUM SPAN	DESIGNED MEMBER
FIRST FLOOR	4'-0"	(2) 1 3/4 x 11 7/8" 1.55E TIMBERSTRAND LSL
	6'- 8"	(3) 1 3/4 x 11 7/8" 1.55E TIMBERSTRAND LSL
SECOND FLOOR	6'-8"	(3) 1 3/4 x 9 1/2" 1.55E TIMBERSTRAND LSL
	9'-0"	(3) 1 3/4 x 9 1/2" 1.55E TIMBERSTRAND LSL
FRONT PORCH	9'-8"	(2) 2 x 10 's No. 2 SPF or better

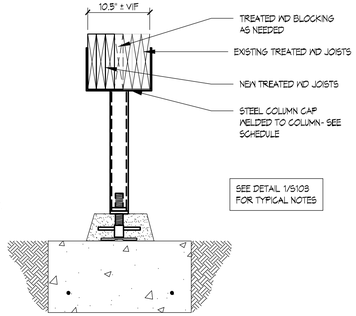
FASTENER SCHEDULE

ITEM (602.3)	DESCRIPTION	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
	Roof		
6	Rafter or Roof truss to plate	Fill all holes per manufacturer	Hurricane Tie per Truss Designer
	Wall		
8	Stud to stud (not at BWP)	16d common (3 1/2" x 0.162")	Face nail @ 24" o.c.
9	Stud to stud (at BWP)	16d common (3 1/2" x 0.162")	Face nail @ 16" o.c.
10	Built-up header (2" to 2" w/ 1/2" spacer)	16d common (3 1/2" x 0.162")	Face nail @ 16" o.c.
11	Continuous header to stud	(4) SDWS16300	Toe screw
12	Adjacent full-height stud to end of header	(3) SDWS16300	End Screw
13	Top plate to top plate	SDWS16300	Face screw @ 16" o.c.
14	Double top plate splice	(8) SDWS16300	Face screw (minimum 24" lap splice length each side of end
15	Bottom plate to joist, rim joist, band joist (not at BWP)	SDWS16312	Face Screw @ 16" o.c.
16	Bottom plate to joist, rim joist, band joist (at BWP)	SDWS16312	Face Screw (2) each @ 16" o.c.
17	Top or bottom plate to stud	(4) SDWS16212	Toe Screw
		(2) SDWS16300	End Screw (alt)
	Floor		
22	Joist to sill, top plate or girder	(3) SDWS16212	Toe Screw
23	Band Board to sill or top plate	SDWS16212	Toe Screw @ 6" o.c.
27	Band board or rim joist to joist	(3) SDWS16300	End Screw
28	Built up girders and beams: 2-inch lumber layers	SDWS16212	Face Screw @ 24"o.c. staggered / 3@ ends and splice
	Built up girders and beams: LVL's, LSL's, other Engineered Lumber	SDW22	Face Screw per Manufacturer Specification
	Wood Structural panels, subfloor , roof and interior wall sheathing to framing		
32a	Wood structural panels, wall sheathing	8d common nail (2 1/2" x 0.131") 6" edges, 12" field	Face nail
32b	Subfloor	2" WSV Subfloor Screw 6" edges, 12" field	Glue and Screw
32c	Roof sheathing	8d common nail (2 1/2" x 0.131") 4" edges, 4" field	Face nail

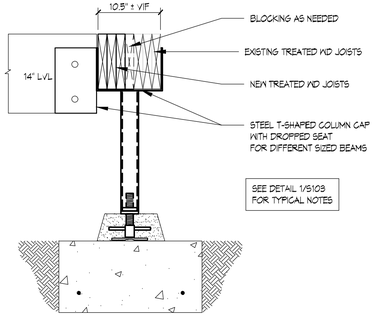
1. Fasteners in accordance with Exposure D for 115 mph winds.
2. Specified Fasteners are Simpson Strong-Tie.
3. The use of staples is NOT PERMITTED for the attachment of any structural member including sheathing material.



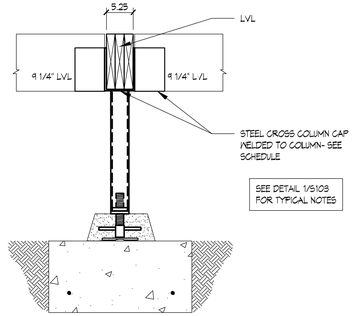
1 S102 COLUMN DETAIL 1" = 1'-0"



2 S102 COLUMN DETAIL 1" = 1'-0"



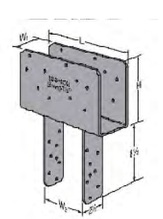
3 S102 COLUMN DETAIL 1" = 1'-0"



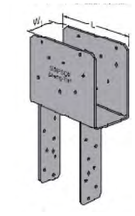
4 S102 COLUMN DETAIL 1" = 1'-0"

COLUMN CAP LEGEND

CC	COLUMN CAP
ECC	COLUMN CAP END
CCC	COLUMN CAP CROSS
CCT	COLUMN CAP T - SHAPE
Q	QUICK CONNECT SCREWS
O	ONLY (FOR WELDED APPLICATIONS - NO POST STRAPS)
M	FULLY GROUTED MASONRY APPLICATION
X	CUSTOM SIZE



COLUMN CAP (CC)
NTS



END COLUMN CAP (ECC)
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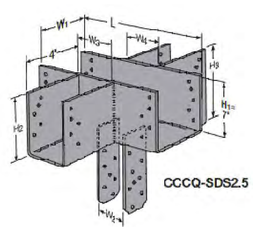

COLUMN CAP CROSS (CCC)
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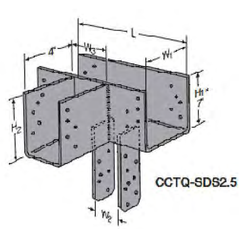

COLUMN CAP T (CCT)
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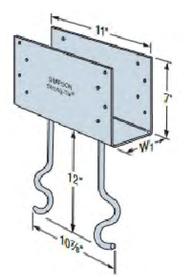

MASONRY COLUMN CAP (CCQM)
NTS

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301-934-8078
ldharchitects@aol.com

McCook Residence
9200 Tayloes Neck Road
Nanjemoy, MD 20662

STATE OF MARYLAND
LISA DAVIS HOLMES
6809
JUNE 20, 2024
LISA DAVIS HOLMES
LICENSE NUMBER 8809
EXP. DATE 11/11/2025

CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

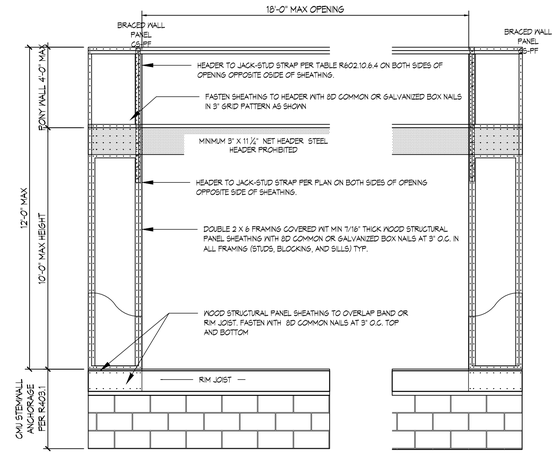
PROJECT: McCook Residence
PROJECT NUMBER:2019.08.01

SUBMISSION:----
DATE:6/24/2024
REVISIONS:
---- ----

SHEET TITLE:
STRUCTURAL DETAILS AND NOTES

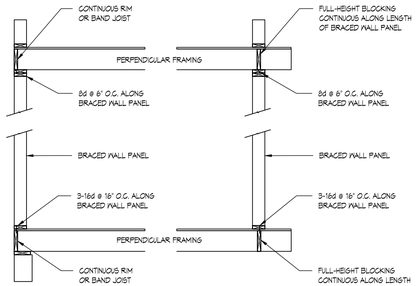
SHEET NO.: S102

WALL BRACING SCHEDULE				
METHOD	CONSTRUCTION	CONNECTION CRITERIA		ADDITIONAL REQUIREMENTS
		FASTENERS	SPACING	
CS-WSP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL	1/2" EXTERIOR PLYWOOD - MIN. SPAN RATING 24/16	8d COMMON (2.5" x 0.131") MIN. 1.75" PENETRATION	6" EDGES, 12" FIELD	HORIZONTAL BLOCKING REQUIRED AT PANEL
	1/2" INTERIOR GYPSUM BOARD	1 1/4" SCREWS, TYPE W OR S	7" EDGES, 7" FIELD	
WSP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL	1/2" PLYWOOD - MIN. SPAN RATING 24/16 (RATED PER LOCATION)	8d COMMON (2.5" x 0.131") MIN. 1.75" PENETRATION	6" EDGES, 12" FIELD	HORIZONTAL BLOCKING REQUIRED AT PANEL
	1/2" INTERIOR GYPSUM BOARD	1 1/4" SCREWS, TYPE W OR S	7" EDGES, 7" FIELD	
CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME	1/2" EXTERIOR PLYWOOD - MIN. SPAN RATING 24/16	SEE DETAIL	SEE DETAIL	
	1/2" INTERIOR GYPSUM BOARD	1 1/4" SCREWS, TYPE W OR S	7" EDGES, 7" FIELD	
NOTE: WHERE BACK TO BACK BRACED WALL PANELS ARE SCHEDULED, PLYWOOD PANELS SHALL BE PLACED BACK TO BACK.				

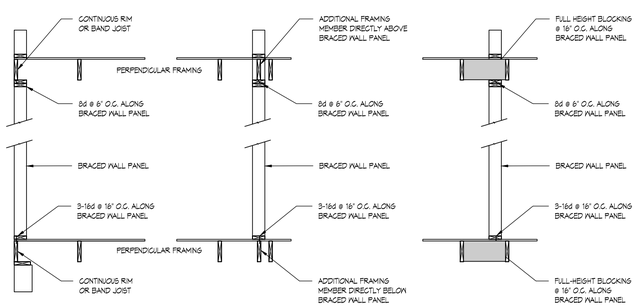


CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME DETAIL

NTS



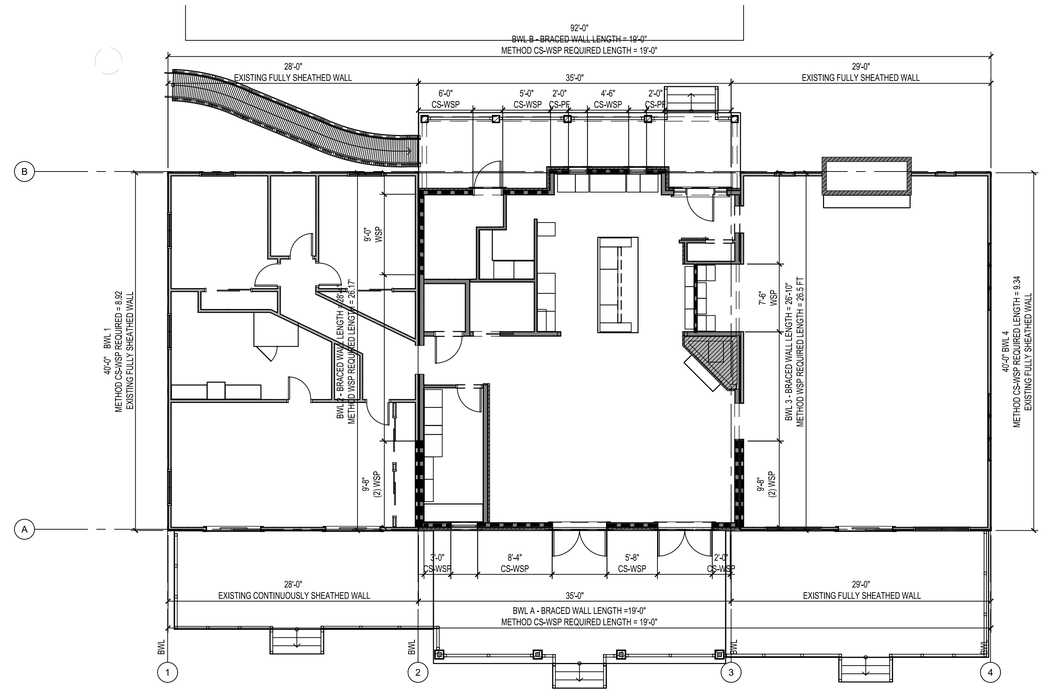
BRACED WALL PANEL PERPENDICULAR TO FLOOR / CEILING FRAMING



BRACED WALL PANEL PARALLEL TO FLOOR / CEILING FRAMING

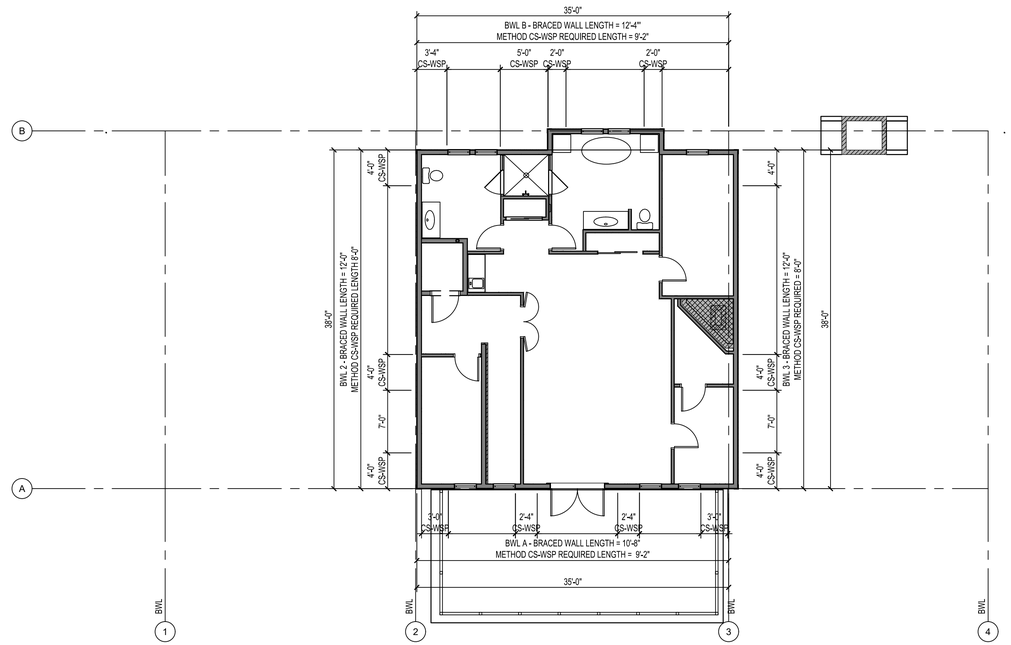
BRACED WALL PANEL CONNECTIONS

NTS



1 / S201 FIRST FLOOR WALL BRACING PLAN

1/8" = 1'-0"



1 / S201 SECOND FLOOR WALL BRACING PLAN

1/8"= 1'-0"

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JUNE 20, 2024

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SHEET TITLE:
WALL BRACING

SHEET NO.: S200